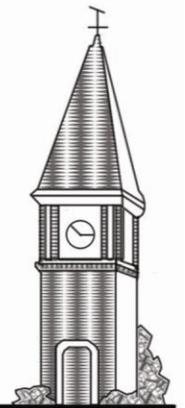


# DESIGN GUIDELINES MANUAL

MAY 2010

CITY OF WESTMINSTER

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## 1.0 PURPOSE

The purpose of these design guidelines is to assure quality design of developments within the city that promote the health, safety and general welfare of the community by maintaining and enhancing the man-made environment. The guidelines contained in this document are tools to be used by developers during the project design phase and by City decision-makers during the development review process.

It is the goal of these design guidelines to encourage creative architectural and site planning solutions consistent with the overall context of surrounding commercial, industrial and residential developments.

### A. GOALS

The design guidelines have been established to ensure the following:

1. Establish quality development that focuses on community design principles that result in creative and imaginative solutions.
2. Orderly and harmonious appearance of structures along with associated facilities such as signs, landscaping, parking areas, refuse storage areas, etc.
3. Prevention of incompatible design and development types.
4. Incorporation of architectural design quality and details on all sides of a structure. (360-degree architecture).
5. Maintenance of the public health, safety and general welfare.
6. Implementation of the General Plan policies which encourage the preservation and enhancement of the particular character and unique assets of the City.
7. Elimination of visual blight.

## 2.0 APPLICABILITY

The Design Guidelines should be used as a starting point for the creative design process. Property owners and developers are encouraged to involve Planning Division staff prior to initiating any new construction or remodel of commercial, industrial or multiple family residential properties.

The design of a project is evaluated under two different documents: Title 17 of the Westminster Municipal Code (WMC) and the Design Guidelines Manual. The WMC includes development and design standards that are mandatory and required under the provisions of the Zoning Ordinance. Design standards typically employ the word “shall.”

The Design Guidelines are a separate document, adopted by resolution, and are intended to supplement the development requirements and regulations contained in the WMC. Both the design standards in the Zoning Ordinance and the Design Guidelines



in this document are intended to be implemented in conjunction with the development review procedures contained in Chapter 17.52 of the WMC.

Design Guidelines are flexible, not mandatory, but reflect recommended or desirable design solutions recommended for commercial and industrial developments, and residential developments comprised of two or more units, either detached or attached, within the R2 through R5 zones. The guidelines also apply to single-family detached units that are constructed in the R2 through R5 zones. The design guidelines do not apply to the construction or modification of single-family residences in a single-family tract that are not in the R2 through R5 zone districts. Guidelines typically employ the words “should” or “encourage.”

Additionally, this document provides design recommendations for two areas of special interest to the City: the Civic Center District adjacent to Beach Boulevard and Westminster Boulevard and the Little Saigon Community Planning Area (CPA) along Bolsa Avenue. While specific architectural style guidelines are identified for each area, they are suggestive in nature and should be used as a starting point for the design of new development or the remodeling of existing structures in Little Saigon or the Civic Center District. Alternative architectural styles that complement the styles identified in this document may also be considered by the Planning Division.

Projects are not expected to meet the exact letter of every design guideline to be considered in reasonable compliance with the overall intent of the guidelines, but should make every attempt to do so.

During the review of development proposals by Planning Division staff, each submittal will be evaluated to ascertain whether or not the mandatory zoning standards have been followed and to determine if the intent of the design guidelines have been reasonably complied with. Although projects will be assessed for their compliance with the guidelines identified in this document, alternative design methods are acceptable if found to result in an equal or better design solution.

The provisions found within these guidelines shall serve as the basis for the project approval findings found in Chapter 17 of the WMC, pertaining to design. It shall be the responsibility of the applicant to demonstrate that the design of a project complies with the intent of the guidelines.

Developments in compliance with the standards in the WMC and the design guidelines herein will receive favorable comment and recommendation of approval.

Every effort has been made to eliminate disagreements and discrepancies between the design standards and other land use regulations, but where such disagreements or discrepancies exist, the stricter requirement shall apply.

## 3.0 COMMERCIAL DESIGN GUIDELINES

### A. INTRODUCTION

The commercial design guidelines presented in this section focus on efforts to foster good design in order to create a quality built environment for the City, encourage reinvestment, and maintain the City's economic vitality in general. The design principles provided herein are applicable to commercial projects including retail, service and office uses throughout the city.

### B. ARCHITECTURAL GUIDELINES

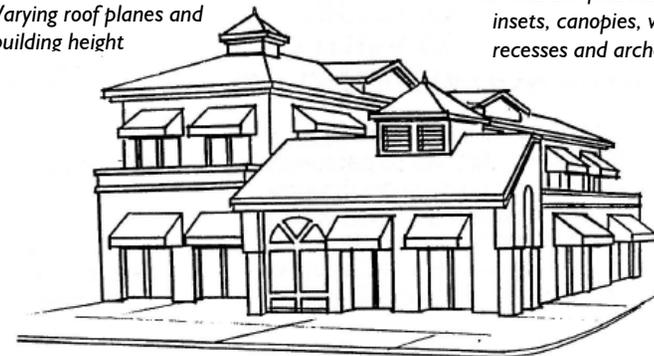
The concepts of "compatible" and "contextual" design are two of the most important elements in understanding these design guidelines. Throughout the commercial guidelines, emphasis is placed on making new buildings and building additions compatible with their surroundings instead of being in competition with them. Compatible designs do not seek to imitate neighboring buildings, but do reflect their surroundings in terms of the design concepts: height, bulk, scale, orientation, and to a lesser extent, architectural style and materials. In short, compatible designs are in harmony with the best "design features" of surrounding buildings.

#### I. DESIRABLE ARCHITECTURAL ELEMENTS

The qualities and design elements for commercial buildings considered desirable include, but are not limited to:

- Significant wall articulation (insets, pop-outs, columns, canopies, wing walls);
- Multi-story building profile;
- Multi-planed pitched roof;
- Full roof treatment;
- Roof overhangs, arcades;
- Regular window rhythm;
- Articulated mass and bulk;
- Significant landscape elements;
- Prominent access driveways; and
- Landscaped and screened parking.

*Varying roof planes and building height*



*Articulate facades with insets, canopies, window recesses and arches*

*Varying building setbacks*

*Window sizes and shapes are repeated for rhythm*

## 2. UNDESIRABLE ARCHITECTURAL ELEMENTS

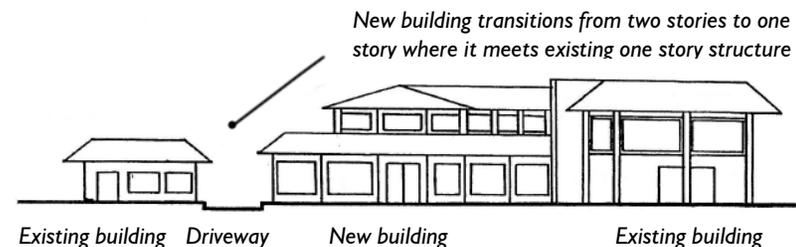
The following qualities and design elements for commercial buildings that are considered undesirable and include, but are not limited to, the following:

- Large, blank, flat wall surfaces;
- Square, 'box-like' buildings;
- Unpainted concrete or block walls;
- Highly reflective surfaces (mirror windows);
- Metal or plastic siding;
- Mix of unrelated materials (i.e., rustic wood shingles and polished chrome);
- Visible outdoor storage, loading and equipment areas;
- Disjointed parking areas and awkward circulation patterns;
- Overabundance of access driveways, or unsafe locations;
- Flat roofs, or 'stuck on' mansard roof treatments; and
- Exposed pipe columns.

## 3. BUILDING HEIGHT

Building height should relate to adjacent structures and open spaces to allow maximum sun and ventilation, protection from prevailing winds, minimize obstruction of view from adjoining structures, and maintain a consistent scale of development along the street.

- a. Height and scale of new development should be compatible with that of the surrounding development.
- b. New development height should 'transition' from the height of adjacent development to the maximum height of the proposed building whenever possible.
- c. When larger, taller buildings are proposed, design techniques should be used to diminish the mass of the building visually. Stepping back the building with increasing height and articulation of the facade with insets and pop-outs lessen the visual impact of height.
- d. Variations in parapet and roof height should add variety and interest to the building's form.

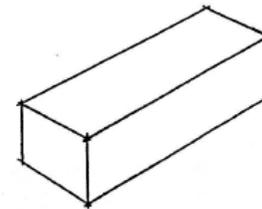


#### 4. SCALE AND BULK

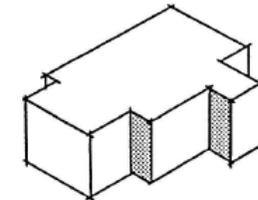
Scale is the relationship between a proposed building's size and the size of adjoining buildings. The scale of new buildings should be consistent with existing buildings in the area.

There are several ways to reduce the appearance of excessive bulk in large buildings:

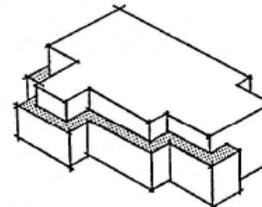
- Vary the planes of the exterior walls in depth and/or direction;
- Step back upper floors;
- Vary the height of the buildings so that it appears to be divided into distinct elements;
- Use varied roof planes and shapes;
- Reduce building volume by lowering roof pitch and extending roof lines;
- Articulate the different parts of a building's facade by use of color, arrangement of facade elements, and change in materials; and
- Use landscaping and architectural detailing at the ground level to lessen the impact of large buildings.
- Large scale buildings which give the appearance of 'square box' structures are undesirable. Such buildings appear out of place, especially if situated adjacent to smaller scale buildings which are typical of Westminster.
- Utilize windows, wall insets, change in color, materials, or utilize canopies to create interest. Blank walls at the ground floor level are undesirable.



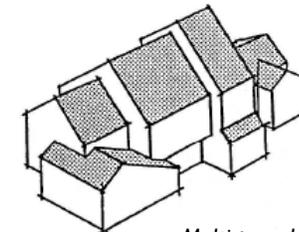
*Undesirable architectural treatment*



*Vertical articulation added*



*Horizontal articulation added*



*Multi-paned roofs and awnings add desirable articulation*

## 5. EXTERIOR WALLS

- a. Building elevations should be designed to avoid a 'box-like', massive appearance. Horizontal and vertical articulation should be expressed through the use of full roofs, wall offsets, recessed windows and entries, awnings, roof overhangs, second floor setbacks, or covered arcades.
- b. Doors and windows should be set back in their wall openings to reveal the thickness of the wall.
- c. Additions to existing buildings should be designed to be integrated with the existing building. The new addition should match the original in terms of scale, window and door styles and openings, roof line, materials, color and other aspects of design.
- d. The following materials should not be used as primary exterior wall materials:
  - Unfinished concrete and concrete block;
  - Corrugated metal and plastic;
  - Reflective mirror-type glass;
  - Standing seam metal walls;
  - Plywood (painted or otherwise);
  - Imitation "rock work" veneers;
  - Corrugated fiberglass;
  - Asphalt shingles;
  - Illuminated signs and awnings;
  - Plastic laminates;
  - Unmilled, bare aluminum; and
  - Applied 'rustic' veneers.
- e. Doors and windows mounted flush with the wall surface should not be used unless in conjunction with an arcade or covered walkway.

*Without architectural variations buildings appear flat, monotonous and "box-like"*



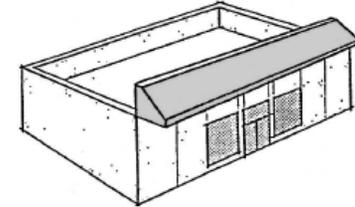
*Example of a building that applies the use of wall offsets, windows, awnings, and entries to provide appropriate building articulation.*

## 6. ROOFS

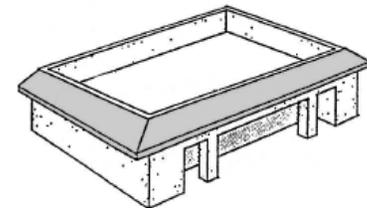
- a. A variety of roof planes and ridge heights should be used.
- b. Large roof overhangs should be used, whenever feasible.
- c. Mansard roofs, if used on commercial structures, should wrap around the entire building perimeter where feasible. For buildings located on a property line, a full roof may not be feasible.
- d. Rooftop equipment should be screened from public view.
- e. When mechanical equipment is placed on a rooftop, it should be located below the highest vertical element of the building wherever possible to avoid the use of penthouse structures or other special screening devices.
- f. When mechanical equipment is added to an existing building, it should be screened in such a way as to match the architectural style and materials of the existing building without giving the appearance of being added on.
- g. Roof drains should be designed as an integral part of the structure and should not be exposed on building exteriors facing public streets or parking lots. Drainage should be under sidewalks and curbs.
- h. The following roof materials should not be used
  - Corrugated metal;
  - High contrast or brightly colored glazed tile, except in small amounts where desirable for accent purposes;
  - Highly reflective surfaces; and
  - Illuminated roofing.

- i. Nearly vertical roofs (A-frames) and piece-meal mansard roofs (used on a portion of the building perimeter only) should not be used.

**Not Acceptable:**  
*Partial mansard roof appears added-on*



**Acceptable:**  
*Mansard roof wraps around entire building*



**Preferred:**  
*Full roof with overhand*



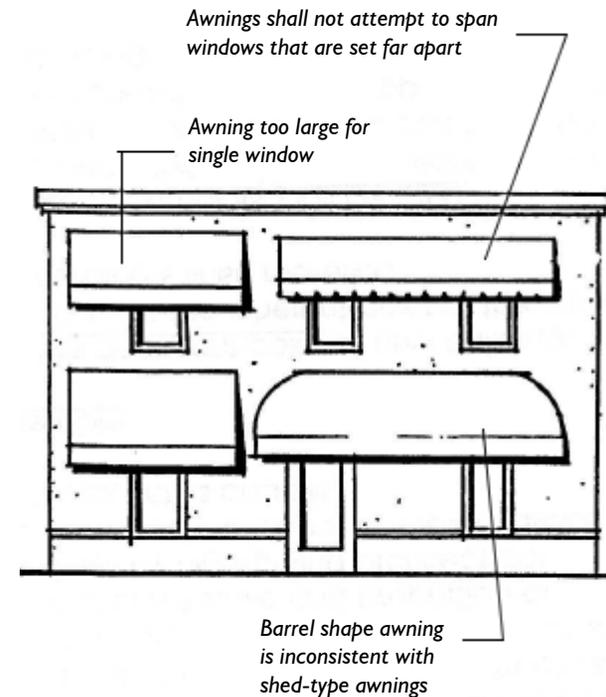
## 7. COLOR

Color can dramatically affect the appearance of buildings and should be carefully considered in relation to the overall design of the building and other structures in the immediate area. Color can also affect the apparent scale and proportion of buildings by highlighting architectural elements such as doors, windows, fascias, cornices, lintels and sills.

- a. The dominant color of new buildings should relate to the inherent color of the primary building's finish materials.
- b. Subdued colors should be used for the overall color scheme. A bright trim color may be appropriate if it can be shown to enhance the general appearance of the building.
- c. The color palette chosen for a building should be compatible with the colors of adjacent buildings. An exception is where the colors of adjacent buildings strongly diverge from these design guidelines.
- d. The number of colors appearing on the building exterior should be minimized. Small commercial buildings should use no more than three colors.
- e. Flashing, sheet metal, vent stocks, pipes and other mechanical equipment should be painted to match adjacent surfaces.
- f. Subtle accent colors should be used to identify special areas such as entries, courtyards, alcoves, etc.
- g. Color accented window and door frames should be used.
- h. Neon lighting may be used as an architectural accent.
- i. Large areas of intense white color should be avoided.
- j. Bright neon paint colors should be avoided.

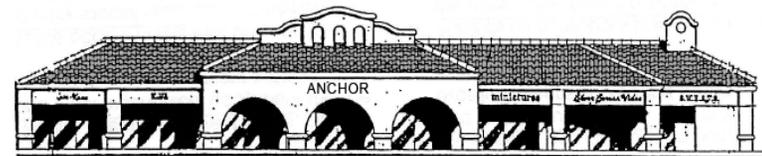
## 8. AWNINGS

- a. Use awnings and canopies on buildings to add architectural interest. They provide an excellent means of breaking up large walls that otherwise may be left blank. The addition of fabric awnings over doors and windows is a simple way to update the appearance of a building as part of a renovation or façade remodel.
- b. The design of awnings should relate to the overall facade on which they are to be placed in terms of size, shape, scale and color.
- c. Awnings on contiguous buildings should be the same color, form, and general location.
- d. Signs may be printed on the awnings but should be restricted to the owning flap (valance) or to the end panels of shed, curved or box awnings. Awning signs should be included in the calculation of total sign area.
- e. Canvas, matte finish vinyl and fabric awnings should be used.
- f. Fabric awning colors which are least susceptible to fading are blue, green and neutral.
- g. Internally illuminated awnings are discouraged.
- h. Plexiglas and metal awnings are generally discouraged.
- i. Fabric awning colors that are most susceptible to fading are brown, yellow, orange and red and should not be used.



## 9. ARCHITECTURAL CONSIDERATIONS FOR MULTI-TENANT CENTERS

- a. Vertical architectural elements such as towers and cupolas should be used as focal points to help identify major tenants. However, when tower elements are used as focal points, they should also be utilized in other portions of the development to create a sense of balance and to avoid over-emphasizing any particular portion (tenant) of the development.
- b. The placement of larger, taller anchor stores should be thoughtfully located to ensure that the entire development has a balanced appearance.
- c. Storefronts within a multi-tenant development should utilize a consistent palette of materials and textures. While generally this will mean a continuous treatment of the entire frontage, it is acceptable to vary individual storefronts within a given palette of materials. For example, brick bases under shop windows could alternate with stucco treatments where there is a variation in the placement of the facade that correlates to changes in materials.
- d. Freestanding 'pad' buildings within centers should exhibit a ratio of approximately 50 percent window area to 50 percent wall area on at least two building facades. Larger percentages of window area are encouraged.



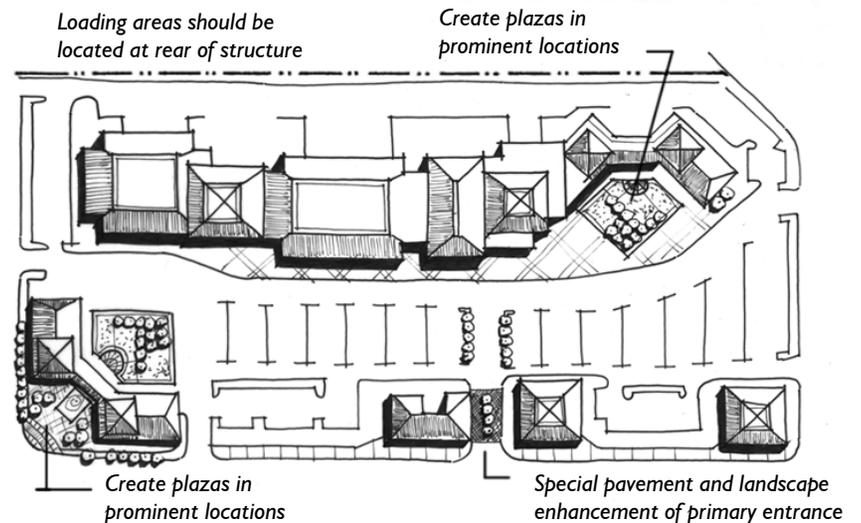
*Anchor store is identified through the use of architectural elements and is in scale with other smaller shops*

## C. SITE PLANNING GUIDELINES

### I. GENERAL

Placement of buildings should consider the existing built context of the surrounding area, the location of any incompatible land uses, the location of major traffic generators as well as an analysis of a site's characteristics and particular influences.

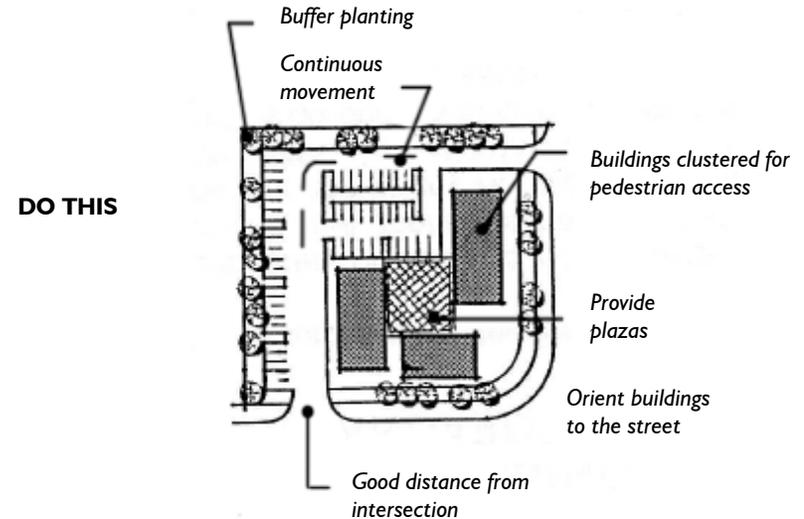
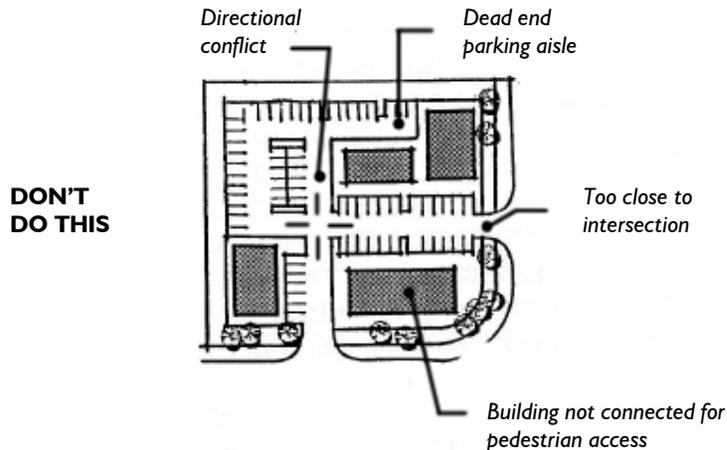
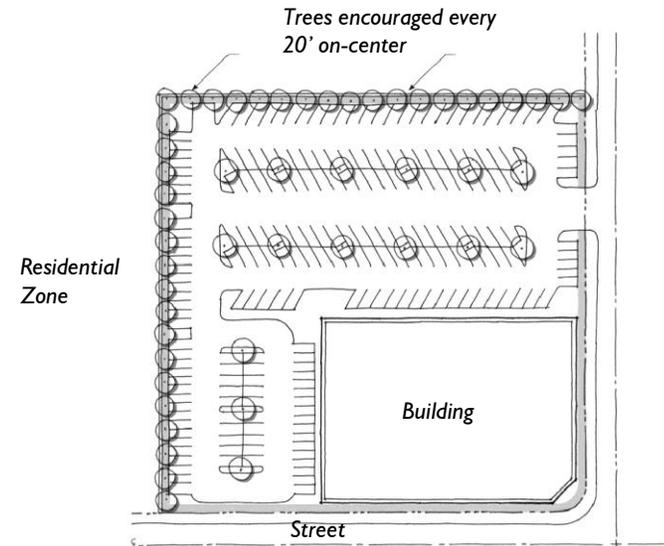
- a. *Consider adjacent structures.* New buildings should be sited in a manner that will complement and relate to the existing adjacent buildings and landscape.
- b. *Cluster buildings around open spaces.* Whenever possible, new buildings should be clustered. This creates opportunities for plazas and pedestrian areas and prevents long "barracks-like" rows of buildings or overly simplistic "L"-shape shopping centers. When clustering is impractical, a visual link should be established between buildings. This link can be accomplished through the use of an arcade system, trellis, or other open structure.
- c. *Provide street-adjacent buildings.* When shopping centers are set back from the street with parking in front, street-adjacent buildings with minimum front setbacks should be provided along 10 percent to 20 percent of the street frontage. These freestanding "pad" buildings should be oriented to the street and provide connections to it to encourage pedestrian access and to visually link the center to the street. Landscaping should be provided on all four sides (except where loading space is required) with emphasis on the street-adjacent side.
- d. *Make open-space areas usable.* Open space areas should be grouped into larger, prominent landscape areas rather than equally distributing them into areas of low impact at building peripheries, minimal side yard setbacks, behind a structure, or to areas of little impact to the public view.
- e. *Consider areas for loading.* Avoid placing loading facilities at the front of buildings where it is difficult to adequately screen them from public view.
- f. *Orient storefronts to the street.* Storefronts should be designed to orient to the major street frontage. They must not turn their backs to the street. This tends to create uninteresting blank facades and decreases pedestrian activity along the street. Architectural treatments should be provided on all building sides, not just those facing the street.
- g. *Avoid "L"-shaped centers.* Shopping centers should incorporate either a clustered village oriented site plan or utilize external pads at the street edge for visual interest. A clustered approach can provide more opportunities for pedestrian open space, linkages between individual shops and parking, and more visually interesting architectural arrangements.



## 2. LAND USE BUFFERING

Commercial developments directly adjoining residential zones should consider the impacts of such development on residential uses and should take all necessary measures to eliminate negative impacts.

- a. *Increase building setbacks.* Additional setback areas should be provided when a commercial project adjoins a residential zone. These, setback areas can be used for vehicle circulation and drive aisles and/or landscaping.
- b. *Use landscaping as a buffer.* Evergreen trees should be planted no further apart than 20 feet on center, depending on species, to screen parking lots and large building walls, decrease perceived noise impacts, and provide a visual buffer between commercial and residential uses. Sufficient landscaping should be provided to screen parking lots from residential uses.

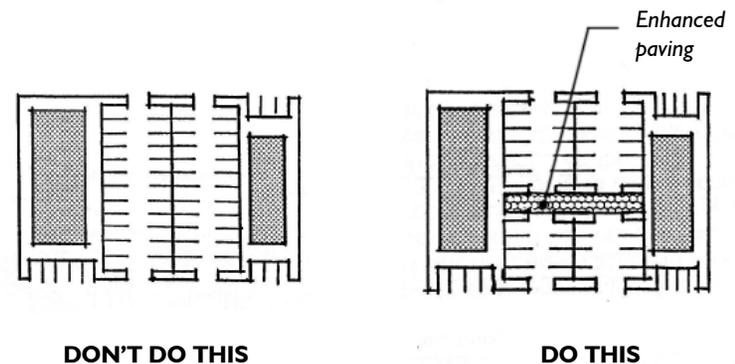


### 3. PARKING AND CIRCULATION

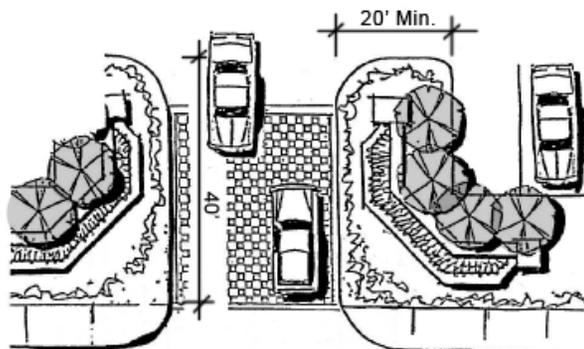
Parking lot design can be a critical factor in the success or failure of a commercial use. In considering the possibilities for developing a new parking area, a developer should analyze the following factors:

- Ingress and egress with consideration to possible conflicts with street traffic;
  - Pedestrian and vehicular conflicts;
  - On-site circulation and service vehicle zones; and
  - The overall configuration and appearance of the parking area.
- a. *Consider pedestrian movement.* Separate vehicular and pedestrian circulation systems should be provided. Pedestrian linkages between buildings in commercial developments should be emphasized, including distinct pedestrian access from parking areas in shopping centers.
  - b. *Connect to adjacent uses.* Parking lot design should provide connections to adjacent parcels and shared parking where uses are compatible and such connections are practical.
  - c. *Minimize intersections/dead ends.* Intersections within parking areas should be kept to a minimum and dead-end aisles should be avoided.
  - d. *Provide access from side streets.* Whenever possible, access drives should be located on side streets or alleys.

- e. *Locate driveways away from intersections.* Access drives, whether located on front or side streets, should be located as far as possible from street intersections so that adequate automobile stacking space is provided.
- f. *Provide adequate space between drives.* Access drives for commercial centers should be at least 200 feet apart and at least 100 feet from any intersection. Additionally, access drives should be a minimum of 10 feet from property lines unless a shared drive is provided.

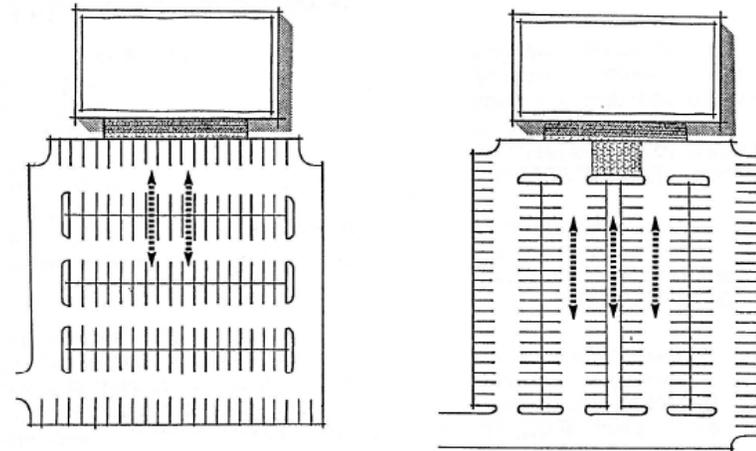


- g. *Provide deep entry drive.* The first parking stall which is perpendicular to an entry driveway or the first aisle juncture that is perpendicular, should be at least 40 feet back from the curb to provide adequate queuing distance off the street. With larger centers, a larger setback is encouraged.
- h. *Separate cars and pedestrians.* Parking areas should be designed so that pedestrians walk parallel to moving cars. The need for pedestrians to cross parking aisles and landscape areas should be minimized.
- i. *Separate car and truck access.* Customer access and circulation should be separated from service truck areas wherever feasible.
- j. *Provide on-site circulation.* A vehicle entering a parking facility should not be required to enter a street or alley to move from one location to any other location within the same parking facility or premises.
- k. *Use special accents at entries.* Monumentation, special textured paving, flowering accents, walls, shrubs, lighting and the use of specimen trees should be used to generate visual interest at entry points to commercial centers.



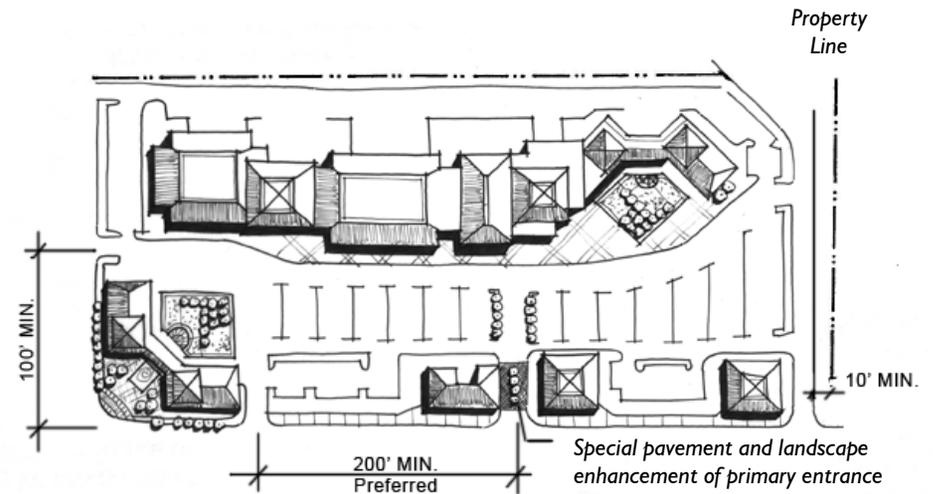
Depth of entry drive (throat)

Parking aisle arrangement



DISCOURAGED

PREFERRED



#### 4. WALLS AND FENCES

Walls and fences are generally used for security purposes and to screen areas from public view. If they are not required for a specific purpose they should not be used.

- a. *Keep walls low.* Walls and fences should be kept as low as possible while performing their screening and security functions.
- b. *Materials and colors.* Walls viewed from the street or parking lots should be compatible with the site's architecture through the use of similar materials and colors.
- c. *Landscape walls.* Landscaping should be used in combination with walls whenever possible to soften the otherwise blank surfaces.
- d. *Offset long walls.* Walls should be offset every 50 feet and architecturally designed to reduce monotony. Landscape pockets along the wall should be provided at regular intervals.

#### 5. SCREENING OF STORAGE AND EQUIPMENT AREAS

Any equipment, whether on the roof, side of building, or ground, should be screened.

- a. *Screening required.* The method of screening should be architecturally integrated with the building in terms of materials, color, shape and size.
- b. *Outdoor storage.* Any exterior storage or equipment area should be confined to portions of the site least visible to public view.
- c. *Screening materials.* Screening should consist of a combination of elements including solid masonry walls, berms, and landscaping.
- d. *Use a continuous screen.* Where individual equipment areas are located reasonably close together, a continuous screen should be installed instead of a number of individual screens.

## D. LANDSCAPING GUIDELINES

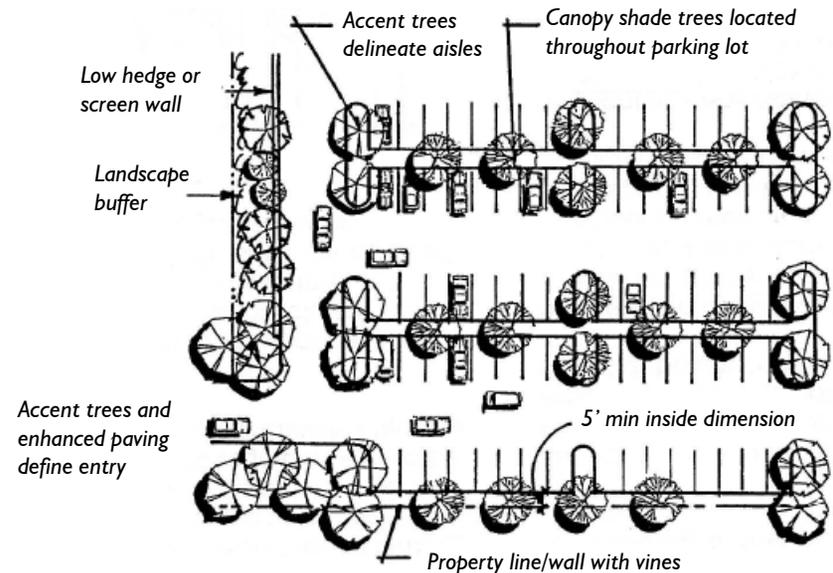
These Guidelines are intended to augment, and are in addition to, the landscape and irrigation design standards codified in Chapter 17.31 of the WMC. In the event of any inconsistency or conflict, the more stringent requirement should prevail.

Landscaping for commercial uses defines specific areas by helping to focus on building entrances and parking lots, defines the edges of various land uses, provides transitions between neighboring properties (buffering), and provides screening for loading and storage areas. Landscaping should also be used as a unifying element within a project to obtain a cohesive appearance and to help achieve compatibility of a new project with its surroundings.

### I. GENERAL

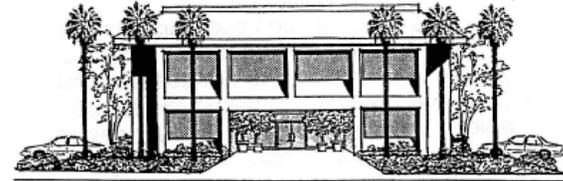
- a. *Three tier system.* Landscaped areas should generally incorporate plantings utilizing a three-tier, or “layered” system including a mix of: 1) grasses and ground cover, 2) shrubs, and 3) trees.
- b. *Planting concepts.* The following are common planting design concepts that are strongly encouraged:
  - Specimen trees used in informal groupings and rows at major focal points;
  - Use of flowering vines both on walls and arbors or trellises;

- Use of planting to create shadow and patterns against walls;
- Use of plants to creatively soften building lines and emphasize the positive features of the site;
- Trees to create canopy and shade, especially in parking areas; and
- Berms, plantings, and walls to screen parking lots, trash enclosures, storage areas, loading docks, utility boxes, etc.



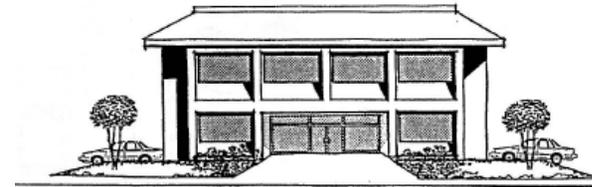
- c. *Size and scale of plants.* Landscaping should be in scale with adjacent buildings and be of appropriate size at maturity to accomplish its intended goals.
- d. *Landscape base of building.* Landscaping around the entire base of buildings should be provided whenever possible to soften the edge between the parking lot and the structure.
- e. *Protect landscape areas.* Landscaping should be protected from vehicular and pedestrian encroachment by raised planting surfaces and the use of curbs. Concrete mow-strips separating turf and shrub areas should be provided.
- f. *Use vines on walls.* Vines and climbing plants integrated upon buildings, trellises, and perimeter walls not only look good but also help discourage graffiti. A few plants to consider for this purpose are: bougainvillea, grape ivy and wisteria vines.
- g. *Discouraged landscape materials.* Non-living landscaping, such as gravel, bark or AstroTurf should not be used as a substitute for plant materials.
- h. *Use plants in containers.* Plants in containers are especially appropriate for areas adjacent to storefronts along walkways.
- i. *Separate walls from sidewalks.* Walls installed immediately in back of a sidewalk or other hardscape element without a landscape separation are strongly discouraged.

**DO THIS**

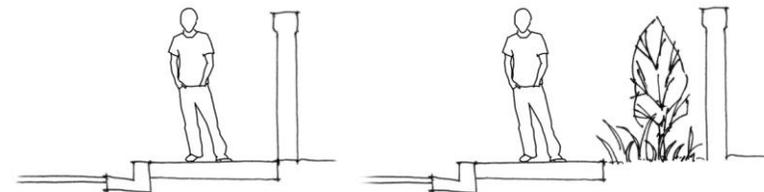


*Mature landscaping is in scale with building*

**DON'T DO THIS**



*Landscaping is small at maturity and out of scale with building*



**DON'T DO THIS**

**DO THIS**

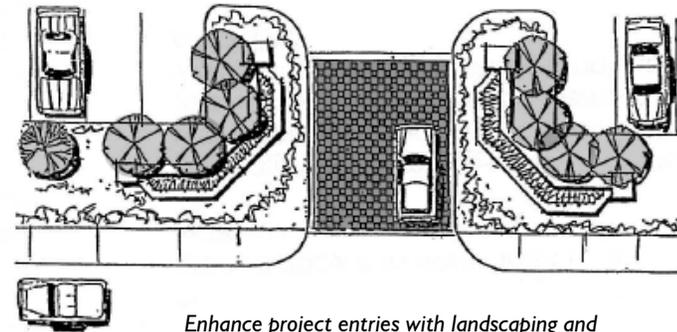
## 2. LANDSCAPING AT NON-RESIDENTIAL SITE ENTRANCES

Vehicular entrances provide a prime opportunity to introduce and identify a project. The vehicular entry zone in a large commercial project is the area between the public street and the main entry to the building. This zone generally includes the on-site entry aisle, parking, circulation and building entry area.

- a. *Vehicular entry zone.* The vehicular entry zone should be treated with special landscape elements and hardscape elements that will give individual identity to the project (i.e., special paving, specimen trees, flowering plants, etc.).
- b. *Textured paving.* Interlocking pavers or rough-textured concrete should be used to delineate site entries in commercial developments.

## 3. LANDSCAPE AREA SPACING

Plant materials should be placed so that they do not interfere with the lighting of the premises or restrict access to emergency apparatus such as fire hydrants or fire alarm boxes. Trees or large shrubs should not be planted under overhead lines or over underground utilities if their growth might interfere with such public utilities.



*Enhance project entries with landscaping and special paving for visual impact*

#### 4. BASIC PLANT LIST

Following is a list of generally accepted plant species that should be used to landscape private properties. It should also be noted that the City also implements a Master Plan of Street Trees program for landscaping in the public right of way. The Master Plan of Street Trees should be referenced to ensure that a visually cohesive and compatible landscape palette is used on both public and private property.

##### a. Groundcover/bedding

- Hedera H. hahnii
- Gozania species
- Potentilla verna
- Ophiopogon spp.
- Rosmarinus officinalis
- Vinca minor
- Trachelospermum Jasminoides

##### b. Shrubs

- Agapanthus africanus
- Asparagus sprengeri
- Azalea southern indica
- Alsophila australis
- Carissa species
- Escallonia fradesi
- Hemerocallis speciosa
- Hibiscus species
- Ilex species
- Juniperus species
- Liriope species
- Moraea iridioides
- Nadina domestica
- Nerium oleander
- Photina

- Pittosporum tobira variety
- Raphiolepis indica
- Ternstroemia japonica
- Veronica species
- Xylosma congestum

##### c. Trees

- Cuapniopsis anacardioides
- Erythrina caffra
- Eucalyptus species
- Ficus species
- Jacaranda acutifolia
- Kaelreuteria paniculata
- Lagerstroemia indica
- Liquidamber styraciflua
- Magnolia grandiflora
- Meleleuca leucadendra
- Pistacia chinensis
- Pinus species
- Platanus species
- Podocarpus gracilior
- Prunus pissardi
- Pyrus kawakamil
- Schinus terebinthifolius

##### d. Climbing Vines

- Bougainvillea spp.
- Ficus pumila
- Parthenocissus tricuspidata
- Thumbergia spp.

## E. SIGN GUIDELINES

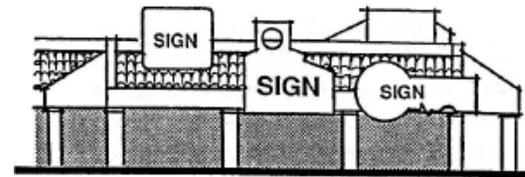
The following design guidelines should be considered in addition to the requirements of the WMC (Chapter 17.33):

### I. GENERAL

- a. *Use a brief message.* The fewer the words, the more effective the sign. A sign with a brief, succinct message is simpler and faster to read and looks more attractive. Sign text should be limited to the name of the business, or to the type of product or service being sold (i.e., “Shoes” or “Haircuts”).
- b. *Select colors and materials carefully.* Sign colors and materials should be selected to contribute to sign legibility and to complement the building’s architecture. Bright “day-glo” colors should be avoided as they are distracting and do not usually blend well with building and other background colors.
- c. *Use signs to establish façade rhythm.* On buildings that have plain façades, signs should be used in a manner that establishes rhythm, scale, and proportion.
- d. *Consider the proportions of the building.* Signs should be placed on buildings in locations where they are appropriate to the scale of the building. For example, a small sign near an entrance is more appropriate than if the same sign were located high up on a wall.
- e. *Avoid intricate typefaces.* These typefaces are difficult to read and reduce the sign’s ability to communicate its message. The use of complex typefaces on sign lettering is strongly discouraged.

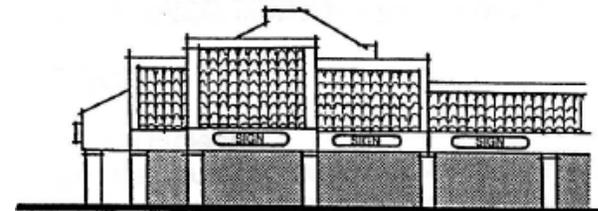
- f. *Avoid faddish typefaces.* Such typefaces may look good today, but soon go out of style. The image conveyed may soon become that of a dated and unfashionable business.
- g. *Avoid too many colors.* Too many colors overwhelm the basic function of the signs communication and can compete with the sign’s content for the viewer’s attention. Limited use of the accent colors can increase legibility. No more than two colors should be used, with bright colors limited to accent features. Structural components, such as poles and supports, should be minimized by painting them a muted earth-tone color.
- h. *Avoid signs with strange shapes.* Signs that are oddly shaped can restrict the legibility of the message.

#### DON'T DO THIS



*Inconsistent sign patterns create confusion. Signs within or above the roof area constitute a roof sign as defined in Article 7 of the WMC and are prohibited.*

#### DO THIS



*Employ a consistent sign pattern*

## 2. BUILDING, WALL OR FASCIA SIGNS

- a. *Provide logical space for signs.* All commercial buildings should provide space for the logical and integrated placement of signs.
- b. *Sign placement.* Building signs should be placed on the building parapet or fascia and should not exceed the height of the parapet or fascia itself. A wall sign should also be placed on the portions of exterior building walls that correspond with the interior location of the business to which the sign pertains, provided that where this provision would not result in a reasonably visible sign from the adjacent public right-of-way, the Director can consider alternate placement of the sign.
- c. *Make signs complementary.* Within any development where there is more than one sign, all signs should be complementary to each other in the following ways:
  - Type of construction materials (cabinet, sign face, supports, etc.);
  - Color of copy and background;
  - Method used for supporting sign; and
  - Shape of sign and related components.
- d. *Lighting methods.* Direct and indirect lighting methods are allowed provided that they are not harsh or unnecessarily bright.

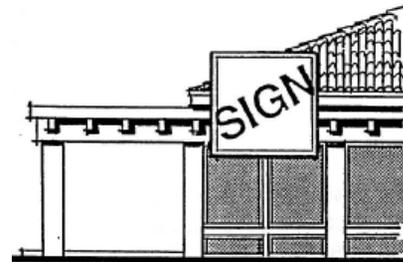
## 3. WINDOW SIGNS

- a. *Location.* Permanent window signs should be painted or otherwise permanently affixed to the interior of the window surface. Neon tube signs may be used.

## 4. ARCADE SIGNS

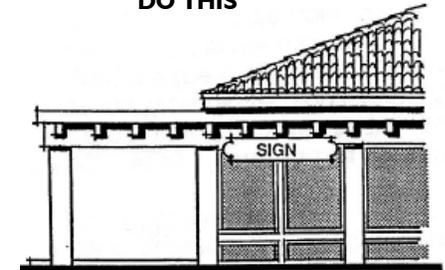
- a. *Design/materials.* The design of arcade signs, the materials of construction, and the method of mounting should be the same for all such signs within a multitenant center.
- b. *Illumination.* Arcade signs should not be illuminated except by permanent lighting fixtures recessed into the ceiling of the arcade.

### DON'T DO THIS



*Sign is out of scale and character with building*

### DO THIS



*Sign is in scale and character with building*



*Backlit letter signs are encouraged*

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## 4.0 COMMERCIAL REHABILITATION DESIGN GUIDELINES

### A. INTRODUCTION

#### I. OVERVIEW

It is the City's policy to encourage the continuous upgrading of the City's existing commercial areas to maintain a quality appearance and ensure the economic viability of these important areas.

The Design Guidelines for commercial rehabilitation are intended to provide guidance for the remodeling and renovation of existing structures. Any alterations or additions to existing buildings will be subject to design review in compliance with the implementation requirements of this chapter and the following policies. Whenever an alteration or addition occurs the design guidelines for new construction shall apply. In addition, the specific rehabilitation guidelines provided in this section also apply when determined to be appropriate. Chapter 17.61.015 of the WMC provides regulations for alterations and additions to legal-nonconforming structures.

### B. RENOVATION DESIGN GUIDELINES

#### I. ROOFS

- a. *Roofing materials.* Roofing materials should consist of clay tiles, concrete tiles or shakes, or heavy architectural composition shingles. Light-weight composition shingles and roll-type materials should not be used. The color of roofing materials should be natural or neutral (tan, brown, grey); brightly-colored materials should not be used.

#### 2. DOORS AND WINDOWS

- a. *Replacing doors and windows.* The replacement of existing doors and windows is often an excellent way to up-date the appearance of an older building. When selecting new windows and doors, the choice should relate to the proposed design and overall architectural style of the building, and to a lesser extent to the facade designs of adjacent buildings. Consideration should be given to the visual rhythm of existing building openings.
- b. *Avoid complicated designs.* Door and window designs should be kept simple, with a contemporary style.
- c. *Aluminum frames.* Aluminum frame doors and windows should have a dark anodized finish or be painted to compliment the wall color. Bare aluminum frames should be avoided.
- d. *Bulkhead height.* Bulkhead height should be approximately 24 inches unless the building is developed as offices, in which case a bulkhead height of 36 inches to 40 inches may be used.
- e. *Do not cover doors and windows.* Door and window openings should not be removed or covered over as a result of remodeling unless it is absolutely necessary to accommodate interior alterations and no feasible alternative exists. If interior privacy is found to be necessary by the City, curtains or blinds may be permitted. Windows should not be painted over or boarded up.

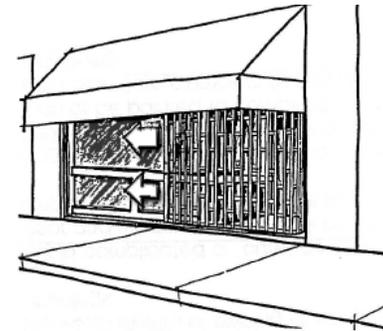
### 3. BUILDING ACCESSORIES

- a. *General.* Over time, buildings often accumulate a variety of miscellaneous accessories such as alarm boxes, utility connections, sign brackets, light fixtures, and other similar items that are either no longer used or are in need of repair and upgrading. During any remodeling, items such as these that can clutter the building facade should be removed, relocated, renovated or replaced.
- b. *Security bars.* Permanent security bars (those clearly visible and fixed to windows or the facade) should be removed during building renovations. The use of retractable security gates or grills that can be concealed inside an overhead soffit or awning or by compatible architectural apparatus or treatment may be installed in place of existing prohibited security bars.

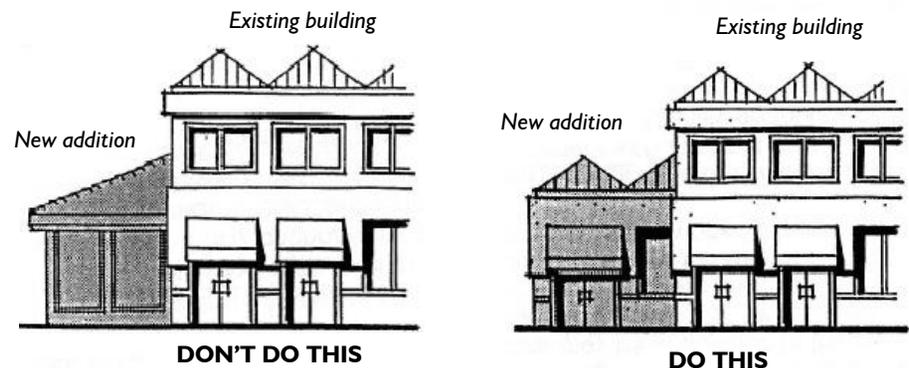
### 4. Building Materials

- a. *Design elements and materials.* New design elements and materials that alter the architectural character of the building should be avoided. Introducing new materials to the front facade that are different or incompatible with materials on the rest of the building is specifically prohibited.
- b. *Retain original materials.* Original exterior materials such as brick, stucco, stone, tile, glass and wood should be retained and repaired when necessary. If such materials have been removed during a previous remodeling, they should be replaced. This guideline applies only if such materials are components in a building design that is considered to be attractive, desirable, and compatible with the design guidelines in this document.

- c. *Remove inappropriate materials.* Inappropriate materials and elements that were added in an earlier remodel should be removed. These include aluminum siding, plywood, false fronts, or natural (clear or unpainted) wood siding, fake "rock-work" veneers, and other such materials.



Utilize retractable security grills that can be concealed inside and overhead awning or by compatible architectural apparatus



## 5. ADDITIONS TO BUILDINGS

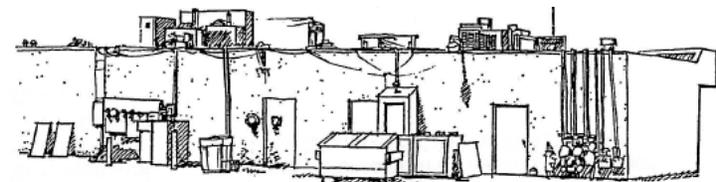
- a. *Additions consistent with existing structures.* Additions to existing buildings should be designed to be integrated with the main building. The new addition should match the original in terms of scale, architectural details, window and door styles and openings, roof line, materials, color, and other aspects of design.
- b. *Renovate entire building.* Where a "newer look" is desired for the addition than that found on the original building, the entire building should be renovated to achieve a single, coordinated appearance.

## 6. RENOVATING REAR FACADES

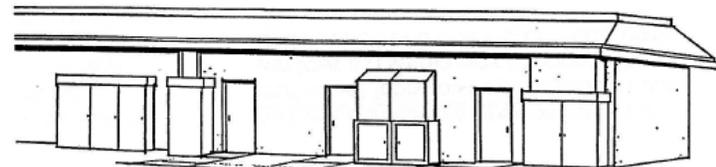
- a. *Parking areas and alleys.* Where parking areas and alleys exist or are planned behind buildings, the rear facade can become an important functional as well as visual element and should be given proper attention during any renovation efforts.
- b. *Renovate rear facades.* Rear facades should be designed to be consistent with the architectural style of the building and the design of the primary facade, but should not be over-improved. Rehabilitation of the rear facade may introduce accessory elements typical of the main facade (such as awnings or light fixtures), but should not attempt to replicate storefronts or to add decorative embellishments typically found only on a main façade.
- c. *Rear entrances.* Direct entrances to shops through the rear facade should be provided to encourage pedestrian activity and to separate walk areas from vehicular traffic.
- d. *Provide entry signs.* Signs identifying the business should be used at rear entrances to encourage their use. The area of these signs may be in addition to the permitted building sign area for the

business, provided that they are intended to be visible only from the rear of the building and not from an arterial street.

- e. *Use awnings.* The use of awnings, consistent with the front facade, should be employed to identify entrances and to add visual interest at doors and windows whenever feasible.
- f. *Landscape improvements to existing buildings.* Potted plants and raised planters should be used where paving or lack of irrigation may prevent normal landscape methods.
- g. *Provide lighting.* Lighting should be added to rear facades to create a pleasant and safe nighttime environment.
- h. *Provide screening.* Abandoned pipes, conduits, wires, and signs should be removed, and any anchor holes should be patched to match adjacent surfaces. All remaining utility connections and equipment should be screened.



*Unscreened rooftop equipment and utilities are strongly discouraged*



*Screened rooftop equipment and screened utility meters are encouraged*

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## 5.0 RESIDENTIAL DESIGN GUIDELINES

### A. INTRODUCTION

The design guidelines for residential projects are intended primarily for infill projects and to maintain neighborhood compatibility. These guidelines apply to residential projects with two or more units, either detached or attached, within the R2 through R5 zones. As appropriate, single family homes within the said zones shall incorporate the design principles to ensure quality design.

The following design principles should be considered in the aforementioned residential projects:

1. Varying front setbacks within the structure;
2. Staggered and jogged unit planes;
3. Use of reverse or alternating building plans to add variety;
4. Maximum of two adjacent units with identical wall planes and rooflines; and
5. Variety of building orientations.



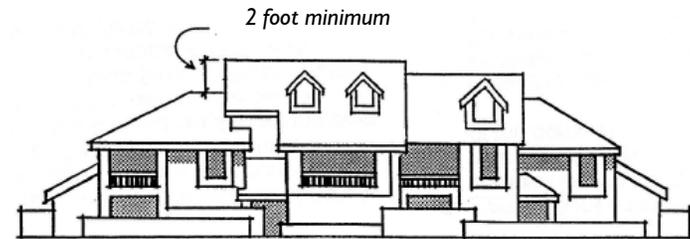
## B. ARCHITECTURAL CONSIDERATIONS

### I. BUILDING SCALE AND HEIGHT

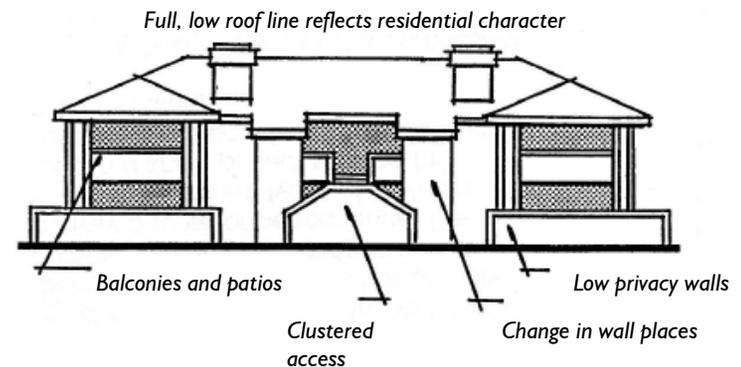
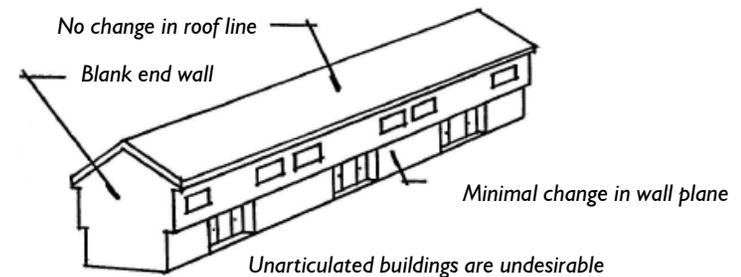
- a. *Maintain neighborhood scale.* Multiple family projects in existing neighborhoods should maintain the architectural characteristics and scale of existing structures on the property and surrounding neighborhood, for example; window and door detailing, facade decoration, materials, color, roof style and pitch, porches, etc.
- b. *Reduce building scale.* Changes in wall plane, roof height and inclusion of elements such as balconies, porches, arcades, dormers and cross gables should be used in multiple family projects to help reduce the overall scale of built environment and to mitigate the barracks-like appearance of long flat walls that are often characteristic of such projects. Projects should impact a neighborhood either by their scale or bulk, or by their lack of architectural compatibility.

### 2. ROOFS

- a. *Full roofs are encouraged.* For one and two story buildings, hipped or gabled roofs covering the entire building should be used. Mansard roofs or segments of pitched roofs applied at the buildings' edges are strongly discouraged.
- b. *Flat roofs.* Flat roofs may be permitted for buildings three stories or more in height, but such roofs should not cover more than 50 percent of the roof area.

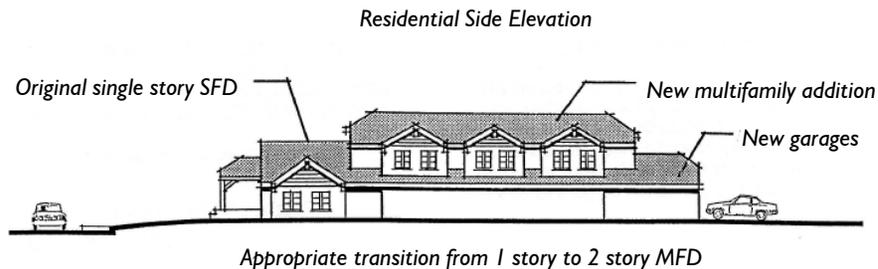


*Good example of change in roof planes and wall articulation*



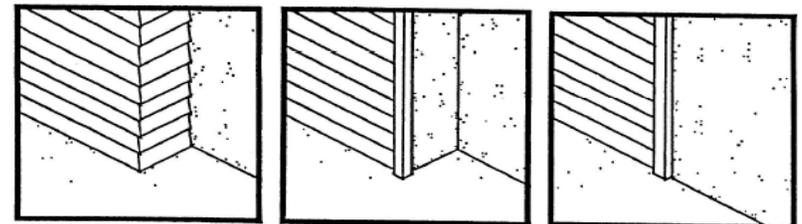
### 3. GENERAL GUIDELINES

- a. *Accessory structures.* Carports, detached garages and other accessory structures should be designed as an integral part of the overall project. They should be similar in materials, colors and detail to the principal buildings of the development.
- b. *Remodel existing unit.* When an existing single-family or multiple family unit is to remain on a property where new multiple family units are to be constructed, the existing unit should be remodeled to be compatible with the architectural style and features of the new units.
- c. *Consider graffiti prevention.* In combination with landscape design, building material selections should take into consideration the ability to prevent or deter graffiti.



### 4. BUILDING MATERIALS

- a. *Use durable materials.* Materials selected for multiple family projects should be durable and low maintenance, and should convey a sense of permanence. The number of different types of materials used in a single project should be the minimum necessary to accomplish the intended design.
- b. *Avoid artificial materials.* The composition of materials should avoid giving the impression of thinness, or falseness, i.e., the materials should appear as though they are the “real thing”. The use of artificial materials should be strongly discouraged if they do not achieve this goal. Veneered materials should be applied in a manner that does not reveal exposed edges. Veneers should turn corners.



Change in plane with change in material is recommended

Material or color change outside corner is not recommended

Change of materials on same plane is not recommended

## C. SITE DESIGN

- a. *Site design.* New multiple family developments should be designed with the same orientation on the site as the original structure(s), unless other design considerations indicate that maintaining the original orientation is infeasible, impractical or undesirable in relation to city policies or standards. For example, if access to parking is provided from an alley, the new development may continue this arrangement.
- b. *Front yard setbacks.* In addition to the minimum required front yard setbacks established in Title 17 of the WMC, the setback of a MFR project should consider the setbacks of adjoining properties.
- c. *Access drives.* The principal vehicular access into a multiple family project with 20 or more units should be through an entry drive rather than a parking drive. Colored, textured paving treatment should be installed at the entry drive.
- d. *Trash enclosure location.* Recommended locations for trash enclosures include inside parking areas or at the end of parking bays. Locations should be accessible for trash collection and maintenance. Each trash enclosure location should be well-lit.

## D. DESIGN FOR SECURITY

### I. COMMON SECURITY ISSUES

Security is a primary concern for most multiple family projects. The first line of defense against unauthorized intruders is a well designed project that has considered potential security related problems in its initial design. This section provides some simple guidelines to follow to increase the level of security for multiple family projects.

The most common security problems for multiple family projects are:

- Uncontrolled access to parking where outsiders may enter freely;
- Uncontrolled pedestrian access;
- Unassigned common areas, including parking spaces, provide opportunities for outsiders to go unnoticed on the site; and
- Building and site entrances that are not visible from the public street or from well used common areas within the complex.

### 2. GENERAL DESIGN PRINCIPLES

- a. *Delineate public/private space.* Both public and private spaces should be appropriately delineated with paving, building materials, grade separations or with physical barriers such as landscaping, fences, walls, screens or building enclosures.
- b. *Make entrances secure.* Entrances for both automobiles and pedestrians should be marked with gates and lights. By defining and controlling access points to the building, unauthorized persons will be deterred.
- c. *Make entrances visible.* All site entrances should be designed to be highly visible from a public street or alleyway. All access points to the site should be well lighted.
- d. *Increase visibility from the unit.* Interior open spaces, courtyards, circulation corridors and individual living unit entrances should be visible from a majority of the living units. The placement of doors and windows in the living units should allow easy surveillance of these spaces from within the unit.

## 6.0 INDUSTRIAL DESIGN GUIDELINES

### A. INTRODUCTION

The industrial design guidelines presented in this section focus on efforts to foster good design in order to create a quality built environment for the City, encourage reinvestment, and maintain the City's economic vitality in general. The design principles provided herein are applicable to the industrially zoned properties (CM, MI and M2) located throughout the city. However, development that involves mostly commercial retail or office should incorporate the City's commercial design guidelines to the greatest extent feasible. The following design objectives should be considered in the aforementioned industrially zoned properties:

- Promote a high quality, attractive and functional design.
- Consider the scale, proportion and character of development in the surrounding area.
- Protect sensitive uses, such as residential uses, from impacts related to noise, light, odor, and traffic.
- Protect the surrounding area and community from the visual impacts associated with the function of the site and use.

### B. ARCHITECTURAL GUIDELINES

#### I. STYLE

- a. A consistent architectural style should be used for a building and its related elements (i.e., exterior lighting, canopies, trellises, etc). Multi-building projects should also use a consistent architectural style.

- b. The architectural style of a proposed project should consider the style of adjacent uses, in cases where such adjoining uses reflect quality development as described in the provisions of these guidelines. When a proposed project abuts a parcel developed with commercial and/or residential uses, the architectural style should incorporate design elements of the adjoining uses, in cases where such adjoining uses reflect quality development as described in the provisions of these guidelines.
- c. The style should employ variations in form and significant architectural details to create visual interest.
- d. An attractive appearance to all facades should be provided through the use of quality materials and design details (i.e., windows, doors, trim, cornice, accents, etc.), which are provided throughout the structure.

#### 2. MASSING

- a. A single, dominant building mass and long unarticulated building facades are not acceptable. Dividing the building into smaller, segmented massing areas is encouraged through the use of vertical and horizontal offsets.
- b. Massing breaks and building projections should relate to the building scale and minimize building mass.
- c. The massing and scale of a proposed building should consider the massing and scale of adjacent uses. When a proposed building abuts a parcel developed with non-industrial uses, the massing and scale should be compatible with that of adjoining uses.

### 3. BUILDING EXTERIORS

- a. Blank, unarticulated wall surfaces are unacceptable.. Exterior materials, including finishes, colors and accents (i.e. cornices, awnings, etc.) should be used and carefully selected to help reduce building mass, create visual interest and provide for a consistent design.
- b. High maintenance building materials such as stained wood, clapboard, or shingles should be avoided. False facades and other simulated materials and ornamentation should be avoided.
- c. The size and location of doors and windows should relate to the scale and proportions of the building elevation on which they are located, while helping to minimize building mass.
- d. Gutters and downspouts should be concealed, unless designed as a decorative architectural feature.
- e. Entryways should be well defined through the use of color, exterior finishes, accents and architectural features.

## C. SITE DESIGN

### I. BUILDING SITING

- a. The arrangement of structures should relate to the characteristics of the site and to surrounding uses and structures. Sensitive uses, such as residential I uses, should be buffered and protected by incorporating strategies such as appropriate building orientation and increased setbacks in project layout.
- b. Building entries and office areas should be fronted towards the adjoining street.

### 2. CIRCULATION AND PARKING

- a. Site access and internal circulation should promote safety, efficiency, and convenience. Conflicts between vehicles and pedestrians should be avoided.
- b. Continuous on-site circulation should be provided throughout the site. Dead-end driveways should be avoided. A vehicle entering a parking facility should not be required to enter a street or alley to move from one location to any other location within the same parking facility or premises.
- c. Design parking areas so that pedestrians walk parallel to moving cars, thus minimizing the need to cross parking aisles and landscaped medians.
- d. Parking areas should be screened by buildings and landscaping. Parking lots should be separated from buildings by a raised walkway and landscape planter.
- e. Parking areas should be arranged to minimize conflicts with loading activities.

### 3. LOADING, DELIVERY AND STORAGE

- a. Loading, delivery and storage areas should not face onto streets. Loading, delivery and storage areas should be sited so as to be concealed from public view through the placement of buildings, architectural wing walls and screen walls.
- b. When a proposed industrial project adjoins a sensitive use, such as a residential use, the placement of the loading, delivery and storage areas should be sited to protect and buffer the adjoining residential use from noise, light, odor and visual impacts.

#### 4. LANDSCAPING

- a. Landscaping should be used to define entrances to buildings and parking lots, buffer incompatible and sensitive uses, such as residential uses, and screen storage, loading and equipment areas.
- b. Wherever an industrial use adjoins a sensitive use, such as a residential use, additional landscape buffering should be provided.
- c. Parking lot landscaping should accent drive entrances, frame major drive aisles and highlight pedestrian paths. Landscaped berms should be used along the portion of a parking lot which abuts a street, in order to screen the parking lot from the street.
- d. Landscaping should be provided along long wall expanses to soften the otherwise blank surface.

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## 7.0 CIVIC CENTER AREA DESIGN GUIDELINES

### A. INTRODUCTION

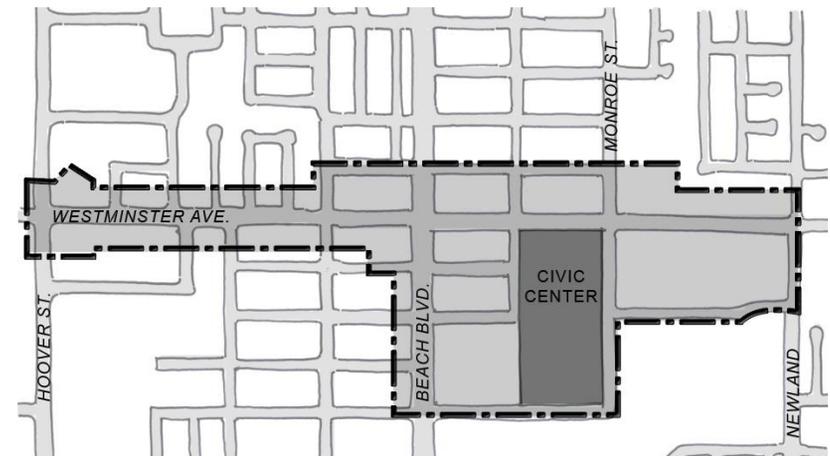
#### 1. OVERVIEW

The following specific design guidelines apply only to property in the Civic Center Area. The boundaries of the area are established on the map shown on this page. This area is primarily located along Westminster Boulevard, within proximity to the City's Civic Center. While the predominant architectural design theme in the Civic Center Area is referred to as 'Old English', developments locating in the area are not required to utilize this style, but the style used should be compatible with it.

#### 2. PRIORITY

The design guidelines contained in this section are to be combined with the general guidelines contained in Section 3.0, *Commercial Design Guidelines*. In the event that the design guidelines for the Civic Center Area and the Commercial Design Guidelines are in conflict, the guidelines contained in the Civic Center Area Design Guidelines shall take precedence.

**Location Map: Civic Center District**



## B. ARCHITECTURAL STYLE

The following guidelines apply to developments in the Civic Center Area that desire to develop exterior building elevations utilizing the Old English theme. Other architectural styles may be permitted upon a finding that a particular style would be compatible with the Old English style, and could meet the design guidelines of the Civic Center Area. Deviations from the Civic Center Area design guidelines may be permitted to accommodate an architectural style different from the Old English theme, subject to the approval of the Director.

### I. DESIRABLE ELEMENTS

The desirable elements for Old English buildings in the Civic Center Area are:

- climbing vines (English ivy) on walls;
- brick exterior walls (Flemish or English bond; variegated color);
- hand troweled stucco finish (ochre, off-whites, maize);
- half-timber cross bracing (dark brown);
- steep gabled roofs, clipped gable roofs, multi-planed roofs;
- quoin stones at building corners;
- elaborate chimneys;
- slate or tiles on roofs (browns, grays);
- arch braces and trussed rafters;
- bay windows; and
- tower elements.

### 2. UNDESIRABLE ELEMENTS

The design elements that should not be used for buildings in the Civic Center Area are:

- all glass, contemporary architecture;
- unarticulated, large blank walls;
- flat, unadorned roofs;
- outside storage; and
- corrugated or standing seam metal buildings.



*Typical example of half-timber cross bracing*

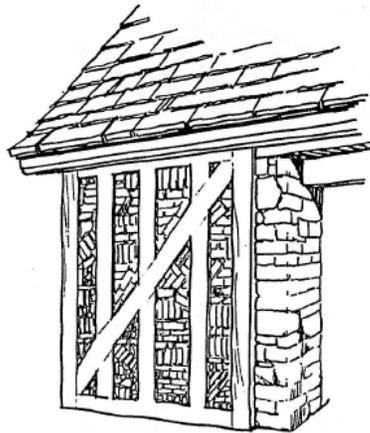


*Small retail center of in-line shops, with covered arcades*

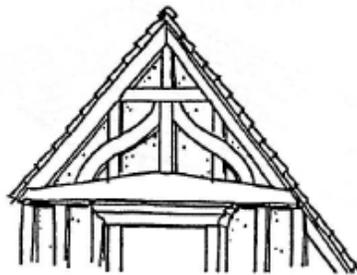
### 3. BUILDING MATERIALS AND COLORS

These are desirable building materials and colors in the Civic Center Area:

- a. *Building materials.* Heavily textured materials should be used. Primary exterior wall materials should include the following:
  - brick (unpainted);
  - heavily textured stucco with wood cross bracing accents;
  - clapboard; and
  - other rock or unit masonry appropriate to the style.
  
- b. *Colors.* The image of the Civic Center Area can be greatly enhanced through the use of a complimentary color palette for primary walls. Earth tone colors, reminiscent of Old English architectural style, such as beige, various shades of brown, buff, brick red, grey, rust and off-whites are desirable. Accent material should be darker in color to provide a rich appearance and add to the dimension the building.



*Good example of appropriate materials*



*Details of timber cross-bracing*

The following are undesirable building materials and colors in the Civic Center area:

- a. *Materials to avoid.* Inappropriate exterior wall materials should not be used unless the project designer can make a strong case for the 'innovative' use of the material. Materials considered to be inappropriate include:
  - cinder block, concrete block;
  - simulated wood or masonry;
  - smooth concrete;
  - vertical planking (wood; rustic or 'Western' look);
  - diagonal planking;
  - corrugated metal or plastic;
  - standing seam metal walls; and
  - imitation 'rock work' veneers.
  
- b. *Colors.* Colors in the blue, violet or green ranges should not be used as primary wall colors, but may be used as secondary trim colors provided that they are subdued and are selected for compatibility with the overall design context of the building.

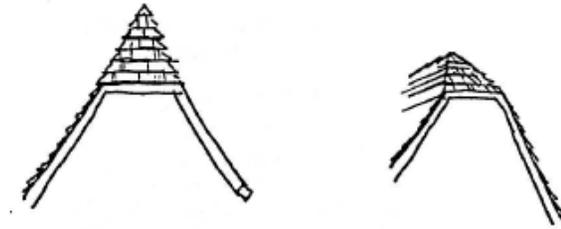
#### 4. ROOF FORM AND MATERIALS

The following are desirable roof form and materials in the Civic Center Area:

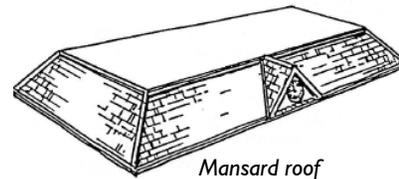
- a. *Full roof forms.* Roofs are an important element of Old English architectural design. Traditional 'full' roof forms such as gable, clipped gable and hip roof shapes should be used. Flat roofs are prohibited.
- b. *Mansard or shed roofs.* Renovation of existing single-story buildings with flat roofs should include installation of full, wraparound mansard or shed roofs on all elevations to upgrade the appearance of the building and to screen roof-mounted equipment.
- c. *Roof pitches.* The roof pitch on Old English buildings should be at least 6:12 (vertical: horizontal distance). Steeper roofs are preferred.
- d. *Roof materials.* The following roof materials should be used:
  - clay or concrete shake
  - heavy architectural composition shingle
  - slate

The following materials should not be used in the Civic Center Area:

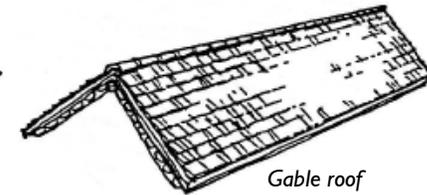
- brightly colored tile or shingles
- untreated wood shingles
- corrugated metal/standing seam metal
- crushed rock



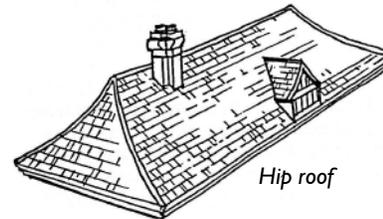
Clipped gable end details



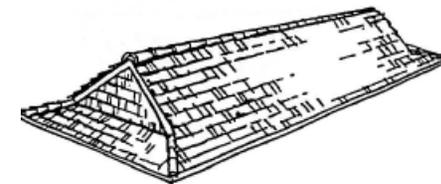
Mansard roof



Gable roof



Hip roof



Combination hip and gable

## 5. DOORS AND WINDOWS

- a. *Overview.* Traditionally, the storefront door in Old English architecture was more than just a door. Tall and stately in proportion, its design reflected its commercial importance. Its wood and glass construction made it substantial and inviting to the customer. Other storefront doors (usually leading to upper floors) were similar in appearance but less impressive than the main entry door.

The use of windows as an architectural element is of critical importance to the facade design. Windows create a visual rhythm of building openings, as well as a view of the retail interior. The primary function of glass is to provide visibility into the display area.

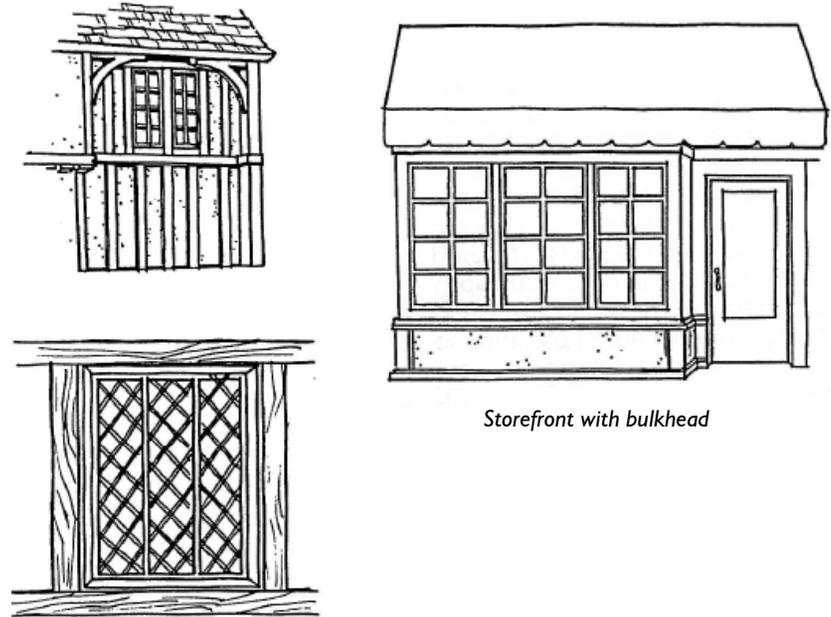
- b. Desirable door design elements include:

- recessed doors which convey the appearance of thick walls;
- wood construction with multi-paned window;
- metal door frames with dark anodized finish;
- double door entries;
- and large hand pulls.

- c. *Window bulkheads.* Storefront windows should be large with low bulkheads at the bottom. By limiting bulkhead height, visibility to storefront displays is maximized; maximum bulkhead height should be approximately 24 inches.

- d. Desirable window design elements include:

- multi-paned vertical design; wood frames;
- operable windows;
- multi-paned bay windows (oriel); and
- window planter boxes.



*Storefront with bulkhead*

## C. SITE PLANNING

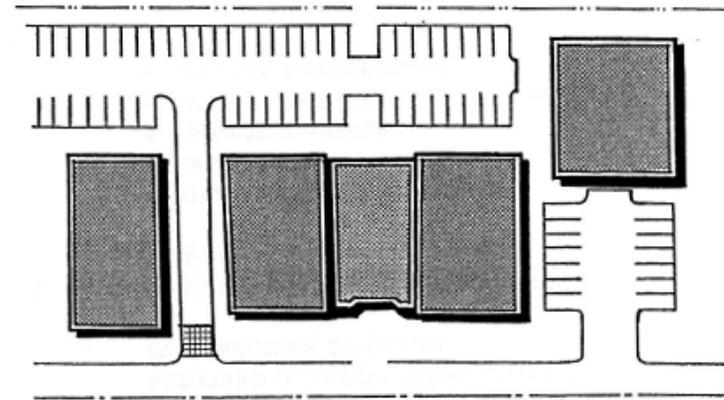
### I. OVERVIEW

The primary issue related to commercial development in the Civic Center Area is the creation of a pedestrian friendly "village" atmosphere along Westminster Boulevard.

It is important that the continuity of the 'sidewalk adjacent' relationship of buildings along Westminster Boulevard be maintained whenever possible. The traditional "downtown" appearance should not be totally lost to 'new' developments with large building setbacks and parking located between the sidewalk and building face.

### 2. SETBACKS

- a. *Front setback.* Commercial buildings in the Civic Center Area should be constructed to the minimum front setback permitted by the Westminster Land Use Ordinance. They should not be set back to permit parking between the building and the sidewalk. Instead, the front setback should be completely landscaped except for access driveways. Areas should be provided for pedestrian plazas and courtyards to connect the building to the sidewalk.
- b. *Average setback.* Where a new building is to be constructed and existing buildings on either side are set back from the front property line, the new building may be setback a distance equal to the average setback of the other two adjacent buildings. In all other circumstances the new building should be set back the minimum distance permitted by the Land Use Ordinance.



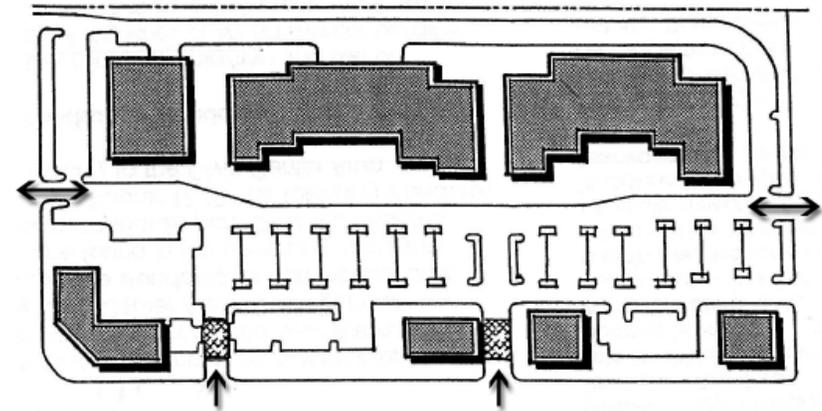
*Locate front of building adjacent to sidewalk with parking at rear*

*Do not set building back from sidewalk with parking in front*

### 3. SHOPPING CENTERS

In the event a multiple acre shopping center is proposed in the Civic Center Area, not all buildings need to be along the sidewalk and the minimum permitted distance away from ft. However, every effort should be made to accomplish the following:

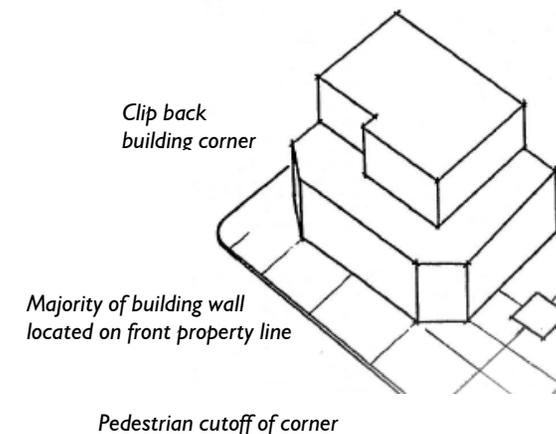
- Place as much of the building storefront along Westminster Boulevard as possible;
- Create a village atmosphere by clustering buildings around plazas versus a typical linear layout;
- Avoid a monotonous parking layout through the use of freestanding pad buildings, landscape islands and medians; and
- Use 'employee only' parking lots at the rear and sides of the buildings whenever possible.



*15% of frontage utilized for freestanding "pad" buildings*

### 4. BUILDINGS OF CORNERS

New freestanding buildings should be set back at their corners at a public street and interior travel aisle intersections to create pedestrian plazas as well as improve visual sight lines for vehicles.



## D. LANDSCAPING

### I. OVERVIEW

The landscape materials palette is an important element in the overall success of the Civic Center Area. Other general landscape guidelines for commercial uses can be found in the general commercial design guidelines section of this document. The following guidelines apply only to the Civic Center Area.

### 2. LANDSCAPE GUIDELINES

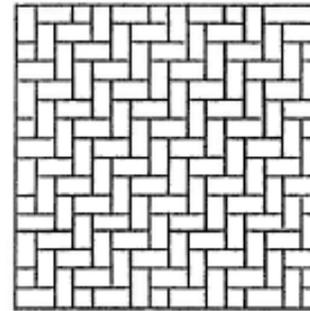
- a. *Use climbing vines/ivy.* The use of climbing vines or ivy on exterior building walls is a required element on all buildings.
- b. *Tree palette.* In keeping with the Old English theme of the Civic Center area, selections from the following tree palette should be made:
  - *Aesculus californica* - California Buckeye
  - *Arbutus unedo* - Strawberry Tree
  - *Betula papyrifera* - Paper Birch
  - *Brachychiton* spp. - Pink Flame or Majestic Flame Tree
  - *Calocedrus decurrens* - Incense Cedar
  - *Cupressus sempervirens* - Italian Cypress
  - *Gleditsia tricanthos* “Rubylace” - Red Honey Locust
  - *Koelreuteria paniculata* - Golden Rain Tree
  - *Lagerstroemia* spp. - Crape Myrtle
  - *Laurus nobilis* - Grecian Laurel
  - *Liquidambar styraciflua* – Liquidambar
  - *Liriodendron tulipifera* - Tulip Tree

- *Lithocarpus densiflorus* - Tanbark Oak
- *Lyonothamnus floribundus aspenifollus* - Catalina Ironwood
- *Magnolia grandiflora* - Magnolia Tree
- *Melaleuca* spp. - Melaleuca
- *Pinus* spp. - Pine Trees
- *Pistacia chinensis* - Chinese Pistache Tree
- *Platanus Acerfolia* - London Plane Tree
- *Prunus cerasifera* - Purple Leaf Plum
- *Quercus* spp. - Oak Trees
- *Robinia pseudoacacia* - Black Locust
- *Schinus molle* - California Pepper
- *Tabebuia chrysotricha* - Golden Trumpet Tree
- *Tristania conferta* - Brisbane Box
- *Zelkova serrata* - Sawleaf Zelkova

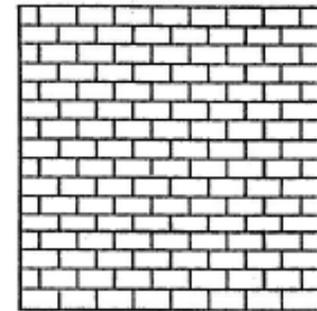
c. *Paving materials.* To reinforce the Old English theme, paving selections should be made from the following hardscape palette. Precast concrete pavers may be used.

- Red or charcoal brick paver: herringbone pattern 45 degrees, herringbone 90 degrees, basketweave or running bond.
- Grey or charcoal cobblestone paver: basketweave or running bond.

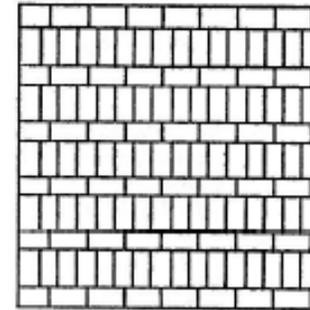
Other hardscape solutions consistent with the Old English theme of the Civic Center District will be reviewed on a case-by-case basis by the Director.



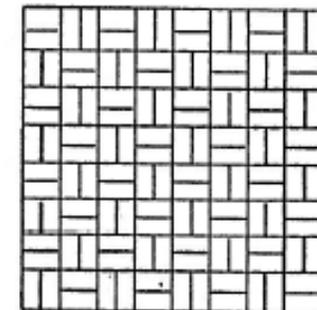
*Herringbone*



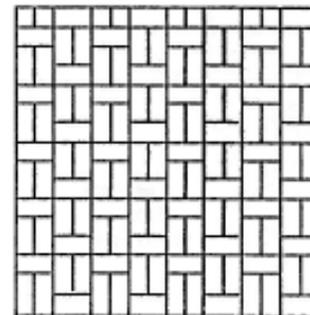
*1/2 Running Bond*



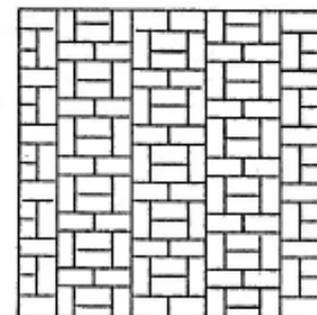
*Running and Stack Bond*



*Basketweave*



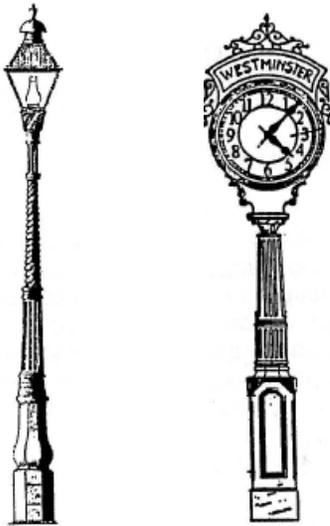
*Variation of Basketweave*



*Variation of Basketweave*

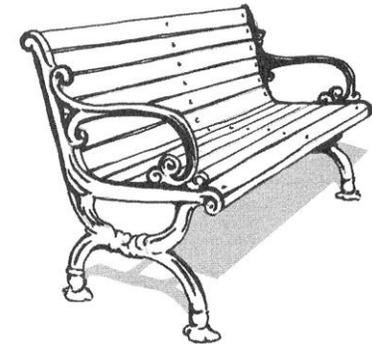
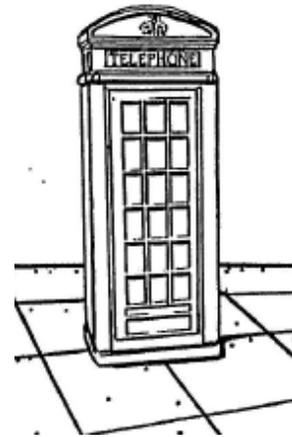
### 3. LIGHTING

- a. *Architectural theme.* All on-site lighting fixtures should be selected to match the architectural theme of the proposed development.
- b. *Accent lighting.* Accent lighting should be utilized to feature architectural elements which are related to the Old English theme (towers, chimneys). Uplighting of trees should be applied wherever feasible.



### 4. SITE FURNISHINGS

- a. Benches, trash containers and other site furnishings should be used and their location should be noted on the landscape plan(s).
- b. All on-site furniture elements, such as benches and trash receptacles, should be consistent with the Old English architectural theme. The following items should be incorporated into the landscape plans wherever feasible and appropriate:
  - Outdoor seating (benches, tables, chairs, planter walls);
  - Trash receptacles;
  - Water features (fountains);
  - English phone booth; and
  - Clock, freestanding (tower) or mounted on building,



## E. SIGNS

### I. OVERVIEW

The quality of commercial signs is an important element in conveying the desired "quality" theme. The guidelines contained in this section are specific in nature in the Civic Center District only. Other "general" sign guidelines are found in general commercial design guidelines and should be consulted as well.

### 2. SIGN GUIDELINES

- a. *Compliance.* All signs should comply with the provisions of the Westminster Sign Ordinance.
- b. *Desirable sign types.* The materials, colors and textures utilized on signs in the Civic Center District should reflect those of Old English architecture whenever applicable to the development. The appropriate sign types are:
  - Carved wood signs with external lighting;
  - Back-lighted reverse channel letter signs;
  - Permanent window signs; and
  - Internally illuminated signs of individual letters.

- c. *Lettering.* Signs should utilize lettering styles reminiscent of the Old English theme rather than those of contemporary themes.
- d. *Theme.* Signs within a commercial complex should follow a coordinated theme that is directly related to the architecture of the complex.
- e. *Monument-type signs.* Because of the special nature of the Civic Center District and the smaller scale, more pedestrian oriented development that is desired, monument-type signs should be used.
- f. *Projecting signs.* The use of small-scale projecting signs is desired and they should be installed whenever their use is appropriate and consistent with the building design. No signs should project over the public right-of-way.



Place signs to repeat the rhythm of the buildings architecture

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## 8.0 LITTLE SAIGON COMMUNITY PLANNING AREA DESIGN GUIDELINES

### A. INTRODUCTION

#### I. OVERVIEW

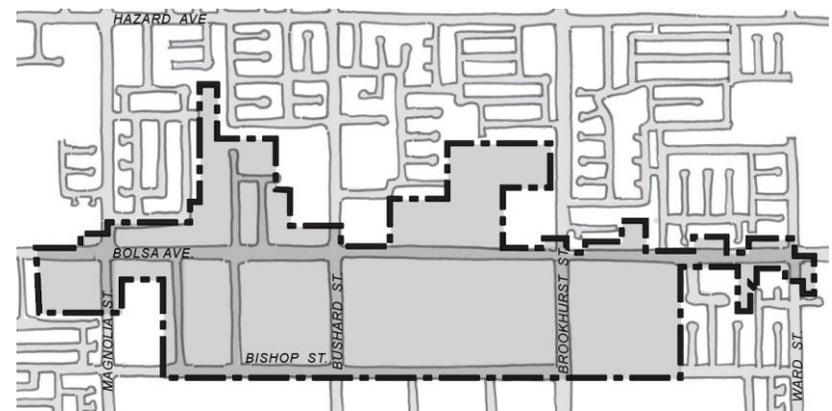
The design guidelines in this section are applicable only within the Little Saigon Community Planning Area (CPA) as outlined in the map on this page. New development and exterior rehabilitation of existing buildings in the Little Saigon CPA should incorporate the architectural design themes described in this section. The design theme should incorporate architectural elements similar to those found on buildings constructed in Vietnam in the early 1900's in the French Colonial tradition. However, the use of design elements and details that follow a traditional Chinese architectural theme may also be used, as this style of architecture is used on many religious buildings in Vietnam.

The application of these architectural design guidelines is not intended to unduly restrict individual design professionals. Contemporary interpretations of these two preferred design motifs may be employed. However, such interpretations will be reviewed on a case-by-case basis, and interpretations that are considered too highly stylized or abstract will be rejected.

#### 2. PRIORITY

The design guidelines contained in this section should be utilized in combination with the general requirements contained in either the general commercial design guidelines, commercial rehabilitation design guidelines, or multiple family residential design guidelines sections. In the event that the guidelines for the Little Saigon CPA and any other guidelines are in conflict, the guidelines for the Little Saigon CPA shall take precedence.

**Location Map: Little Saigon District**

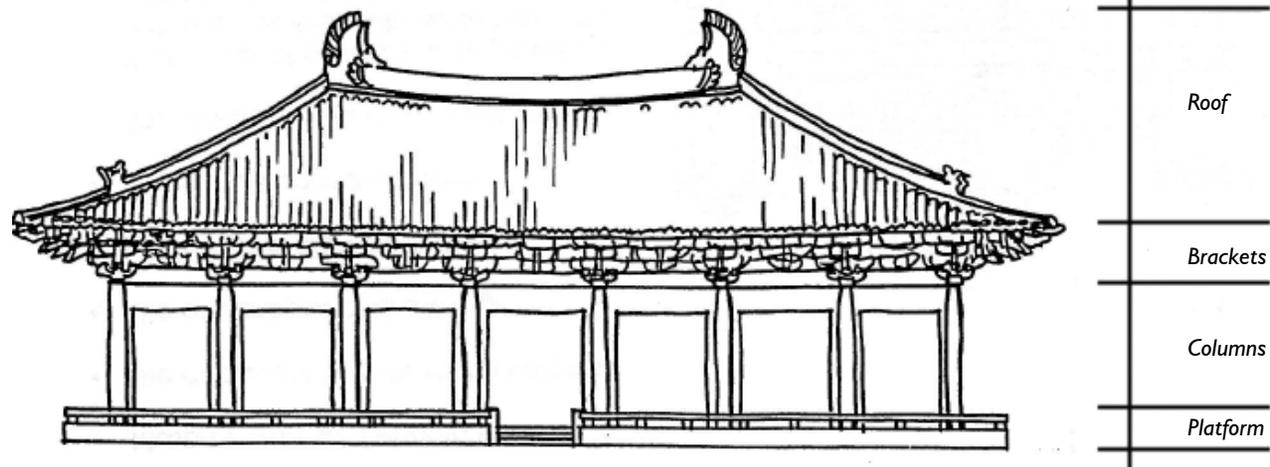


## B. ARCHITECTURAL STYLE

### I. DESIGN ELEMENTS OF THE CHINESE STYLE

The qualities and design elements for buildings in the Little Saigon CPA should consist of following:

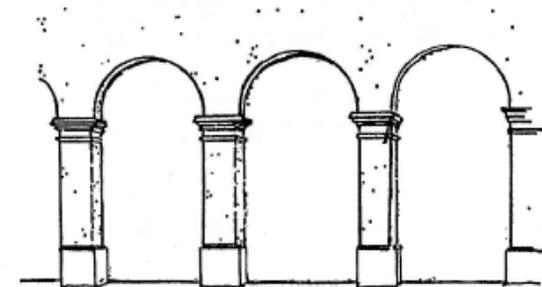
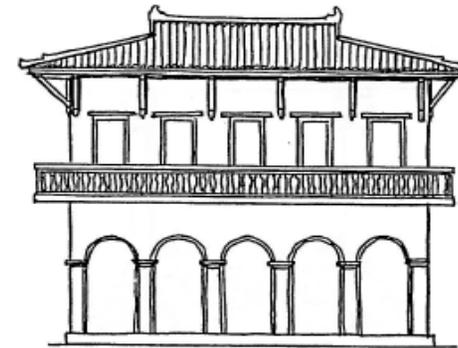
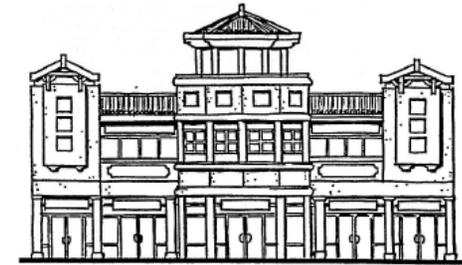
- Large, prominent full roofs with overhanging eaves;
- Roofs with corner ridge and main ridge elements (decorative elements to be incorporated);
- Tile roofs (natural clay or glazed /colored):
- Metal standing seam roofs in shades of green, brown, blue or copper;
- Exposed wooden rafter tails with or without decoration;
- Rhythm and repetition of standard building modules;
- Use of columns, beams and gateways
- Buildings set on platforms with stairs in central locations
- Wood and masonry exterior finishes, wood details/trim, wood posts and beams;
- Buildings arranged around a central axis;
- Window and door openings of ornate design;
- Use of accent colors of bright red, dark green, black and gold; and
- Garden and landscape designs in naturalistic, non- symmetrical forms.



## 2. DESIGN ELEMENTS OF THE FRENCH COLONIAL STYLE

The qualities and design elements of the French Colonial style in the Little Saigon CPA should be as follows;

- Full roofs with large eave overhangs supported by exterior wooden brackets;
- Clay tile roofs (earth tones);
- Arched openings for doors, windows and colonnades in either semicircular or flat arch, including use of the blind arch
- Masonry walls with smooth finish;
- Use of balustrade-style railing systems;
- Use of canopies and awnings;
- Use of upper story balconies;
- Large multi-paned windows;
- Shuttered doors and windows; and
- Wall colors of off-white, light yellow to ochre, sometimes with white trim, and forest green accent color.



*The use of blind arcades or similar methods to add visual interest to a blank wall are encouraged*

### 3. UNDESIRABLE DESIGN ELEMENTS IN LITTLE SAIGON

The following are design elements that are unacceptable and should not be used;

- Architectural styles such as Mediterranean, Spanish Colonial, Ranch/Western, or Old English;
- Contemporary "glass box" buildings;
- Large, flat wall surfaces, box-like buildings;
- Buildings with flat roofs and roofs with composition shingles;
- Decorative elements that have the appearance of being added to a building and do not appear to be a substantial part of the structure;
- Use of materials and finishes not appropriate to the style of the building and imitation/fake materials; and
- Dark wall colors and use of bright, neon, day-glow colors for any purpose.

### 4. BUILDING MATERIALS AND COLORS

Building materials and colors for the Little Saigon CPA should be kept simple and uncluttered. Primary wall colors should be neutral with brighter colors used for trim accent.

- Building materials.* The primary exterior building materials should be smooth finish stucco, painted concrete and wood.
- Limit the use of wood.* The exterior use of wood should be limited to columns, posts, beams, roof overhangs and supporting brackets. Large wall surfaces of wood should be avoided.
- Wood finish.* Wood should be painted or stained. Unfinished wood is not appropriate.

- Wall colors.* The predominant colors of exterior walls should be neutral earthtones; light beige, buff, tan. Brighter colors may be used for accent trim. For buildings in the French Colonial style, light pastel yellow and off-white are also appropriate colors.

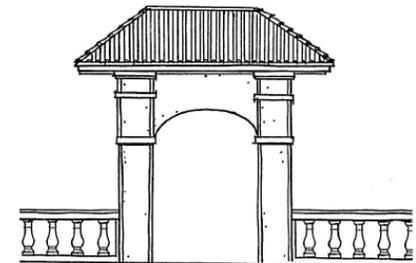
- Undesirable materials.* Materials that are undesirable and should not be used include:

- Concrete block;
- Simulated wood or masonry;
- Heavy troweled stucco finish;
- Clapboard;
- Glass curtain walls;
- Imitation 'rock work' and other thin masonry (brick) veneers;
- Corrugated metal or plastic; and
- Standing seam metal walls.

- Chinese style trim colors.* Trim colors from the traditional Chinese style include bright red, dark green, black, and to a limited extent, gold.

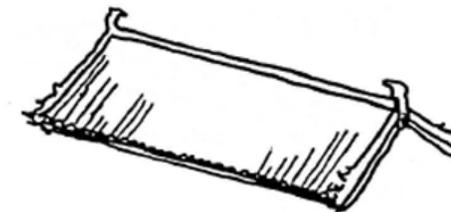
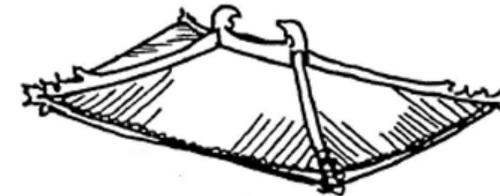
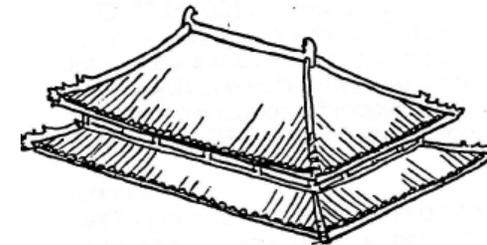
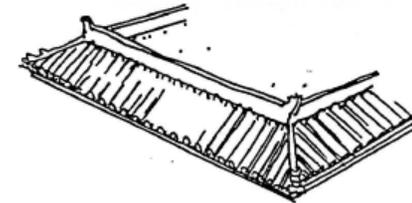
- French Colonial trim colors.* Trim colors from the French Colonial style are generally white or medium to dark green.

- Undesirable wall colors.* Colors that are undesirable and should not be used for exterior walls include shades of blue, violet, pink, dark brown.



## 5. ROOF FORM AND MATERIALS

- a. *Full roofs should be used.* The use of full roofs is an important design element in the Little Saigon CPA. For this reason, flat roofs should not be used. If a portion of a roof is required to be flat for a particular reason (e.g., to place and screen roof mounted equipment) then a mansard style roof may be incorporated for that portion of the building. Such roofs should extend completely around the building (or portion thereof) so that no flat roof parapets are visible from any side of the building. An exception would be for sides of buildings placed on a property line where a fire wall with parapet must be constructed.
- b. *Roof design.* Typical roof styles required for the Little Saigon CPA are shown in the illustrations to the side and on the next page. If other designs are proposed, the designer may be required to provide a justification for a deviation from the traditional styles.
- c. *Roof pitch.* The pitch of the roof should not be less than 2:3. Shallow pitch roofs are not in keeping with the traditional style and will only compromise the overall design integrity of the building.
- d. *Use decorative ridge beams.* Roofs may incorporate corner and main ridge beams. Decoratively painted and/or carved ridge beams are desirable. If ridge beams are not used, decorative roof tile elements should be utilized on all roof ridge lines.



e. *Desirable roof materials.* The following roof materials should be used in the Little Saigon CPA;

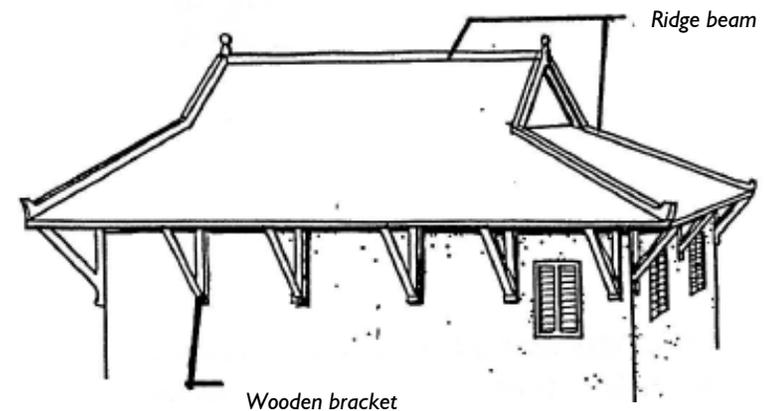
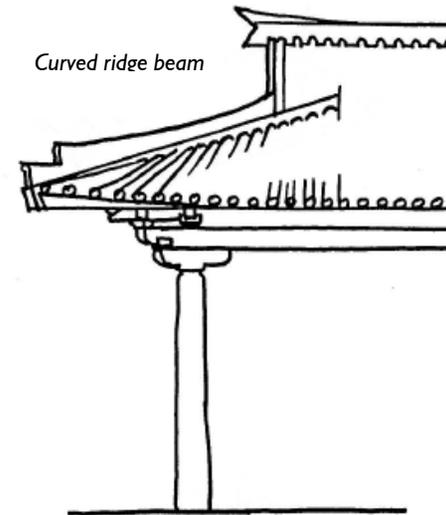
- natural clay barrel tiles, unglazed;
- glazed barrel tiles in blue or green;
- concrete tiles in light to medium grey (charcoal); and
- standing seam metal in greens, browns, blues and copper.

f. *Undesirable roof materials.* The following roof materials should not be used in the Little Saigon CPA:

- Wood or simulated wood shingles;
- Concrete roof tiles except grey;
- Composition shingles;
- Crushed rock;
- Corrugated metal; and
- Rolled roofing materials.

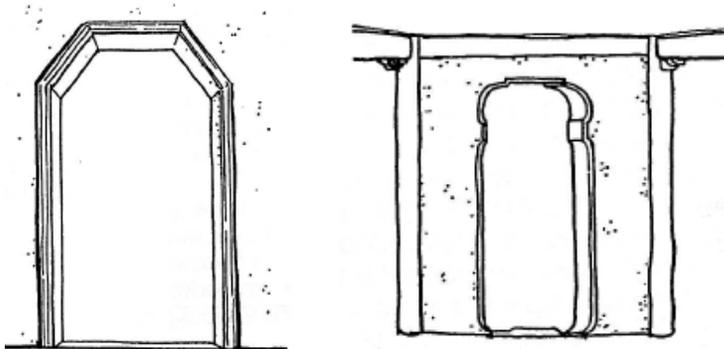
g. *Curved roofs are desirable.* One method to simulate the curved roof effect is to design the corner ridge beam in a curved manner.

h. *Roof overhangs.* All roofs should incorporate large roof overhangs in proportion with the building (the larger/taller the building, the greater the overhang). When the French Colonial style is used, wooden support brackets should be incorporated as a functional part of the roof design.

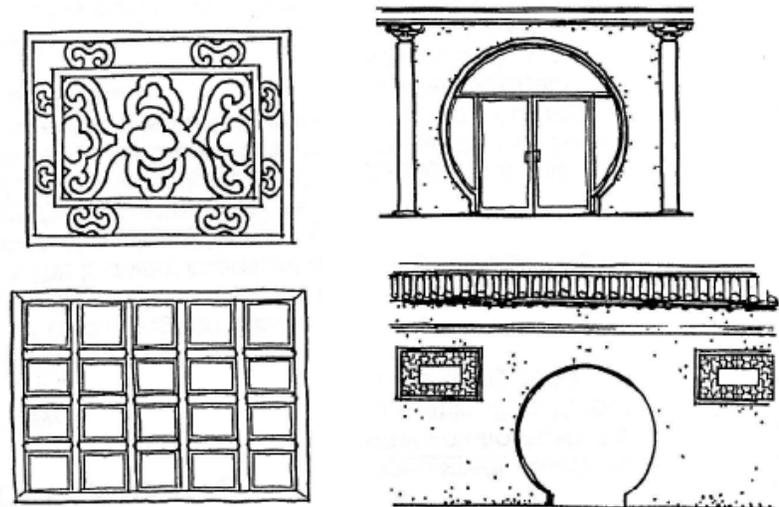


## 6. DOORS AND WINDOWS

- a. *Use traditional designs.* The appropriate design of door and window openings is critical to establishing the architectural character of Little Saigon. Therefore, traditional designs should be used, especially on the main building facades facing streets and parking lots.
- b. *Size and spacing.* Doors and windows should be used to establish rhythm and harmony within the overall building design. Uniform sizes and spacing should be employed as this reinforces the idea of symmetry.
- c. *Primary entrances.* Primary customer entrances should be used whenever possible. A few examples are shown.
- d. Desirable door design elements:
  - Recessed doors to convey appearance of thick walls;
  - Wood construction with multi-lite or single-pane windows;
  - Metal door frames with dark anodized finish or painted to match building trim;
  - Double door entries; and
  - Ornate hand pulls (wood or brass).



- e. *Storefront windows.* Storefront display windows may be large but should not extend from floor to ceiling. At ground level, a bulkhead of approximately 24 inches should be provided.
- f. *Window glass.* Use clear glass (88% light transmission) on the first floor. Tinted glass allowing a minimum of 50% light transmission should be considered only for use in second floor windows and above and on an Individual case basis. The use of reflective glass is prohibited.
- g. Desirable window design elements:
  - Wood frames;
  - Metal frames with dark anodized finish or painted to match building trim; and
  - Clear glass to 30% tinted.

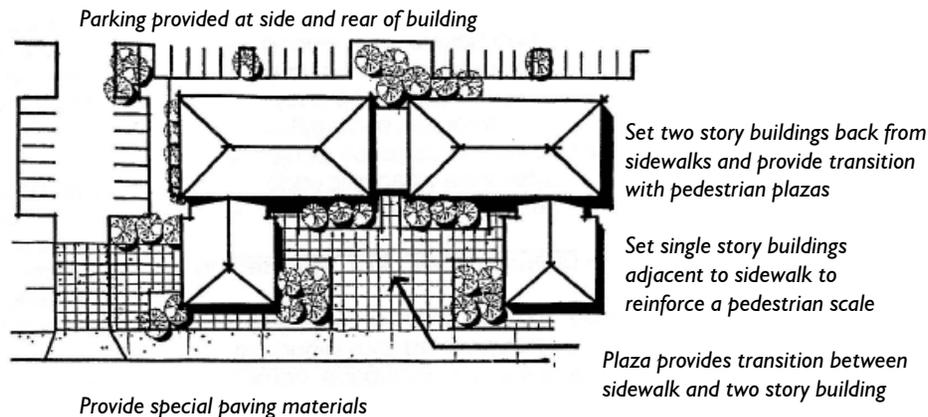


## C. SITE PLANNING

### I. OVERVIEW

One of the primary concerns related to the placement of buildings on a lot (site planning) is the relationship of the buildings to the street. This is a very important concept in the creation of a pedestrian oriented, pedestrian friendly commercial district such as Little Saigon. The design guidelines below are structured to create and maintain a strong pedestrian oriented shopping district along Bolsa Avenue.

In addition to the site planning guidelines in this section, the guidelines in Section 3.0, Commercial Design Guidelines, should also be incorporated.



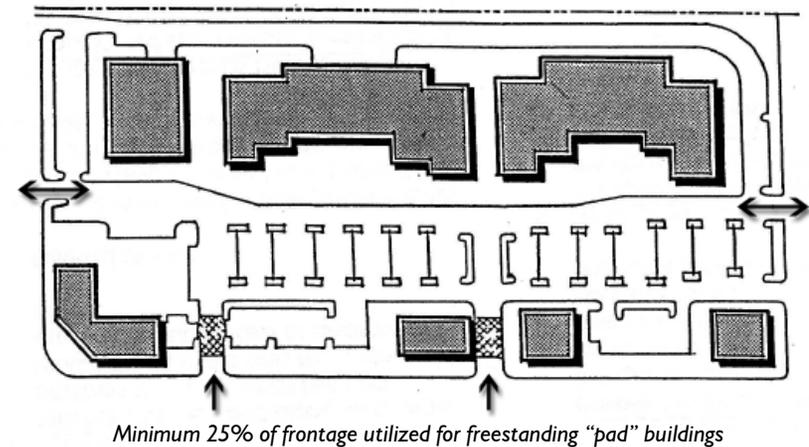
### 2. GENERAL DESIGN PRINCIPLES

- a. *Place buildings along street.* Buildings, especially with retail storefronts, should be placed at or near (within 10 to 15 feet) the front property line along Bolsa Avenue.
- b. *Parking location.* Parking should not be located between the sidewalk and the front of the building.
- c. *Provide pedestrian links.* A strong pedestrian link should be created between the sidewalk and the main building entrance, and between adjacent buildings. Use walkways and plazas with special enhanced paving materials and landscaping to help direct pedestrian movement.
- d. *Provide useable open space.* The provision of pedestrian plazas, courtyards, seating areas walkways and small gardens between the sidewalk and the main building entrance is very desirable and should be provided wherever possible. The design of such areas should reinforce pedestrian activity along the public sidewalk and between the sidewalk and the building entrance.
- e. *Use an intimate scale.* The provision of public open space should consider the pedestrian scale. Large areas of paving are undesirable and are discouraged. Larger open areas should be divided into smaller, intimate areas for seating, landscape gardens, water features, public art, etc.

### 3. SHOPPING CENTERS

When a multiple tenant shopping center is proposed, not all buildings need to be adjacent to the Bolsa Avenue frontage. However, every effort should be made to accomplish the following;

- a. *Street adjacent buildings.* Place as much building mass (storefront) along Bolsa Avenue as possible (a minimum of 25% of street frontage to be building storefront).
- b. *Cluster buildings.* Create a village atmosphere by clustering buildings within pedestrian plazas versus a typical linear layout or an 'L' pattern.
- c. *Parking layout.* Avoid monotonous parking layouts through the use of freestanding pad buildings, landscape islands, pedestrian walkways and medians.
- d. *Parking location.* Place as much of the parking to the rear and sides of the project as possible so that walking distances from the public sidewalk are minimized. Use 'employee only' parking lots along the rear (behind buildings) and sides of shopping centers.
- e. *Parking structures.* On large projects, use underground parking and/or parking structures so that more open space can be provided at ground level.



## D. LANDSCAPING

The following landscape design guidelines apply only to the Little Saigon CPA. General landscape design guidelines for commercial uses can be found in Section 3.0, *Commercial Design Guidelines*.

### I. GENERAL DESIGN PRINCIPLES

All landscape plans should contain design elements that reinforce the architectural character of the Little Saigon Area.

- a. *Use appropriate plant materials.* Refer to the recommended plant list in this section.
- b. *Subtropical plants.* Such plants should be used in small areas for high impact at building entrances.
- c. *Drought tolerant species.* Such plants should be used in larger areas away from buildings and in parking lots.
- d. *Trees and shrubs.* Trim trees and large shrubs to expose their major branch structure
- e. *Earth mounding.* Berms and earth mounds should be used along with large boulders to imitate small hills and mountains to shield and separate parking areas from public view or pedestrian areas.

### 2. ORIENTAL GARDENS

The use of small oriental style gardens is an important design element in the Little Saigon CPA. Some of the basic design principles of the oriental garden include:

- a. *Garden designs should be free-form.* Organic, not symmetrical, Gardens should be created as miniature recreations of nature.
- b. *Small-scale water elements.* Streams, ponds or fountains are very desirable and should be incorporated into garden designs whenever practical.
- c. *Gardens (as opposed to overall landscaping) should be kept small.* Concentrate garden areas at building entrances for maximum impact. Small scale water features used in conjunction with subtropical plants should be used to create an intimate, friendly atmosphere.
- d. *Small structures.* Used in conjunction with covered verandas, small structures within the garden are very desirable and should be incorporated into the landscape design whenever practical, Examples: Pagodas, archways, foot bridges, shade structures for seating areas, etc.
- e. *Small stones and gravel.* Used in walkways and dry streambeds, these can create a very desirable landscape feature. Use pavers/stepping stones with sod planted in between for small walkways.

### 3. PREFERRED PLANT PALETTE

In keeping with the architectural style of the Little Saigon CPA and in order to help reinforce its overall character, the plant materials palette should be drawn from the following selections:

#### a. Groundcover

- *Ajuga reptans* - Ajuga
- *Aptenla cordifolia* - Baby Sun Rose
- *Carpobrotus* species - Sea Fig
- *Lantana montevidensis* - Trailing Lantana
- *Liriope* species – Liriope
- *Ophlopogon japonicus* - Mondo Grass
- *Pachysandra terminalis* - Japanese Spurge
- Ferns
- *Trachelospermum jasminoides* - Star Jasmine
- Grasses and dichondra

#### b. Shrubs

- *Agapanthus africanus* - Lily-of-the-Nile
- *Agave attenuata* - Agave
- *Aloe* species - Aloe
- *Alpine* species - Ginger
- *Azalea* spp.
- Bamboos
- *Calliandra tweedii* - Trinidad Flame Bush
- *Carissa macrocarpa* - Natal plum
- *Hibiscus* species - Hibiscus
- *Juniperus chinensis* 'Torulosa' - Hollywood Juniper
- *Juniperus sabina* 'Tamariscifolia' - Tam Juniper
- *Nandina domestica* - Heavenly Bamboo

- *Nerium oleander* - Oleander
- *Philodendron selioum* - Split Leaf Philodendron
- *Pittosporum tobira* 'Wheeleril'
- *Strelitzia nicolai* - Giant Bird of Paradise
- *Strelitzia reginal* - Bird of Paradise

#### c. Trees

- *Albizia Julibrissin* - Silk Tree
- *Arecastrum romanzoffianum* - Queen Palm
- *Chorisia speciosa* - Floss Silk Tree
- *Cupaniopsis anacardioides* - Carrotwood
- *Erythrina caffra* - Coral Tree
- *Feijoa sellowiana* - Pineapple Guava
- *Ficus* species - Ficus Trees
- *Grevillea robusta* - Flame Bush
- *Jacaranda mimosifolia* - Jacaranda
- *Koelreuteria paniculata* - Goldenrain Tree
- *Liquidambar* spp.
- *Mehodieros excelsus* - New Zealand Christmas Tree
- Tree Palms
- *Pinus* spp.
- *Pistocaa chinensis* - Chinese pistache
- *Podocarpus macrophylla* - Yew Pine
- *Salix babylonica* - Weeping Willow
- *Schinus terebenthifolius* - Brazilian Pepper
- *Tipuana tipu* - Tipu Tree

#### d. Vines

- *Bougainvillea* spp.
- *Podranea ricasoliana* - Pink Trumpet Vine
- *Tecomaria capensis* - Cape Honeysuckle
- *Wisteria sinensis* - Chinese wisteria

#### 4. PAVING MATERIALS

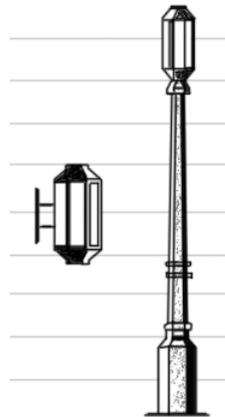
Special paving materials and patterns should be used to enhance pedestrian walkways, plazas and gardens. Desirable materials include:

- a. Scored patterns in smooth or rock salt finish concrete;
- b. Rectangular granite or concrete block pavers in irregular sizes;
- c. Natural stone pavers set in mortar; and
- d. Other materials consistent with the architectural style of Little Saigon will be reviewed on a case-by-case basis.

#### 5. LIGHTING

All on-site lighting fixtures should be consistent with the architectural theme of the proposed project.

- a. *Exterior accent lighting.* Such lighting should be used to accent significant architectural features that are unique to the style of the building. Exposed neon is prohibited.
- b. *Lighting in outdoor landscape areas.* Outdoor lighting should be used to accent trees, garden structures, water features and other significant landscape elements.



#### 6. SITE FURNISHINGS

- a. *Consider locations of site furnishings.* Project designers should consider the provision of benches, trash receptacles and other site furnishings and indicate their locations on the landscape plan.
- b. *Use consistent theme.* All on-site furniture elements such as benches and trash receptacles should be consistent with the architectural theme of the proposed project. The following items should be considered;
  - Outdoor seating (benches, tables, chairs);
  - Trash receptacles;
  - Water features (fountains, ponds);
  - Artwork that is historically or culturally significant;
  - Kiosks, vending machine enclosures,
  - Phone booths, news racks, directories; and
  - Clocks



## E. SIGNS

### I. OVERVIEW

The design quality and readability of signs in the Little Saigon CPA are important aspects of the overall image and pedestrian character that is being created for the area. The guidelines contained in this section are specific to the little Saigon CPA only. Other "general" sign guidelines found in Section 3.0, Commercial Design Guidelines, should be consulted as well.

### 2. DESIGN GUIDELINES

- a. *Compliance.* All signs should comply with the provisions of Chapter 15.40 of the Westminster Municipal Code.
- b. *Desirable sign types.* The materials, colors and textures used on signs in the little Saigon CPA should reflect those of the building's architecture. The approved sign types are:
  - Back-lighted reverse channel letter sign;
  - Permanent window signs; and
  - Internally illuminated signs of individual letters rather than block letter signs where the letters are connected.

- c. *Theme.* Signs within a single commercial complex should follow a coordinated design theme that is related to the architecture of the complex.
- d. *Projecting signs.* For new commercial structures located on or within 5 feet of the sidewalk, a sign may project into the public right-of-way up to 2 feet with the approval of an encroachment permit by the city.
- e. *Use of English language signs.* Except for commonly understood words, signs utilizing a language other than English should provide an English translation, This will not only help customers locate the business, but will also help direct fire or police officials to the proper location in an emergency situation.

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## 9.0 DEFINITIONS

### A. ARCHITECTURAL TERMS

Definitions for the following architectural terms can be found in Article 7 of the WMC:

Arcade  
Blind Arcade  
Column  
Arch  
Awning  
Baluster  
Balustrade  
Bay  
Bay Window  
Belt Course  
Bond  
Bracket  
Canopy  
Cantilever  
Casement Window  
Clapboard  
Coping  
Cornice  
Course  
Eaves  
Facade

Fenestration  
Flashing  
Flat Roof  
Gable  
Gambrel Roof  
Glazed Brick  
Hardscape  
Hip Roof  
Mansard  
Masonry  
Mullions  
Parapet  
Pitch  
Quoin, Coin Stone  
Rafter  
Ridge  
Setback  
Shake  
Shed Roof  
Sill  
Slate

### B. DESIGN TERMS

Definitions for the following design terms can be found in Article 7 of the WMC:

Articulation  
Asymmetry  
Axis  
Balance  
Emphasis.  
Mass  
Movement  
Pattern  
Proportion  
Rhythm  
Scale  
Landscape Surface Materials  
Symmetry  
Texture

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